



Spring Brook FARM

Architectural Design Guidelines



Architectural Design Guidelines

Section 1: Single-Family and Two-Family Residential Construction. Development of Single-Family and Two-Family Residential units within the Mixed Use (E-3) Development Area shall be in accordance with the following:

- A. Purpose. The purpose of these Architectural Guidelines is to establish the character, value, look, and style of the single-family and two-family dwellings.
- B. General Requirements. Any building, structure or use of land, when erected or enlarged, shall provide architectural elements within the following provisions of this Section. The Builder shall submit to the Design Review Committee (DRC) for review and approval all proposed building elevations with all exterior materials specified.
- C. Design Standards. All single-family and two-family dwellings shall be in accordance with the following standards and specifications:
 1. 100% of the first floor of all front elevations, excluding windows, doors and similar appurtenances, shall be brick, stone or cultured stone; up to four (4) feet in height. Provided, however, that if the design of building so dictates, the brick, stone, or cultured stone which would occupy the first floor of the front elevation up to four (4) feet in height, excluding windows, doors, and similar appurtenances, may be located anywhere on the front elevation. In the alternative, the exterior building material of the entire building or structure may be a masonry/wood based siding product, in which case, no brick, stone, or cultured stone shall be required as an exterior building material. In no case shall concrete block (CMU) be permitted as an exterior finish material.
 2. Window grids shall be provided on all operable non-casement windows on all elevations.
 3. Chimney chases shall be enclosed.
 4. Decorative light poles shall be considered on a case by case basis and shall match the overall look and feel of the common lighting in type and finish.
 5. Facades between 30-60 feet in length for two-family dwellings, measured horizontally, shall incorporate wall plane projections and fall within the city's provisions for exterior design.
 6. The pitch of all roofs, exclusive of roofs on porches, bump-outs, dormers, and other ancillary structures, shall be a minimum of 6/12 (6 vertical to 12 horizontal).
 7. No dwellings shall have the same front elevation or exact color scheme within a 3-lot "snapshot" on the same side of the street, or of the home immediately across the street from the center of the 3-lot "snapshot."
 8. Vinyl siding shall not be permitted on any individual dwelling.
 9. In addition, each single-family and two-family dwelling shall have at least three (3) of the items below:
 - The entire front elevation of 100% brick, stone or cultured stone; excluding windows, doors and similar appurtenances

- Brick, stone or cultured stone wainscot around the rear and both side elevations; excluding windows, doors and similar appurtenances
 - Reverse gable or hip roof
 - Covered front porch with columns (minimum 16 sq. ft.)
 - Decorative door surround, trim molding or header
 - A raised wood deck (80 sq. ft. min.) or concrete patio (80 sq. ft. min.) provided on the rear elevation.
 - Shutters on all operable windows
 - Keystone or decorative brick or wood surround on windows and/or doors
 - Bay or “boxed-out” window
 - Decorative trim molding at gutter height
 - Decorative garage door(s)
 - Any other similar decorative accent or broader feature that may be reviewed for consideration
10. No detached buildings permitted.
 11. Sidewalks to be constructed at a minimum of 5’ wide. Greenway Trails to be constructed 10’ wide unless site constrains dictate a minimum of 8’ in width.
 12. No chain link, wire or similar fencing shall be permitted.
 13. All utilities including, but not limited to, electrical power, telephone, television and internet cable, fiber optics and other such facilities shall be installed underground, unless in the opinion of the Alcoa Municipal/Regional Planning Commission and Design Review Committee, special conditions require otherwise.
 14. Landscaping shall be incorporated around buildings softening hardscape materials that may be utilized and be complementary to the existing landscaping of other public spaces within Springbrook Farm.
 15. Each subdivision shall be planned to accomplish a desirable transition with the streetscape and to provide for adequate planting, and safe pedestrian movement.
 16. All signage shall be approved by the Design Review Committee.
 17. In no case should structures be taller than 3 stories from ground level to highest point of the structure.

Section 2: Multi-Family Residential Construction (to include Senior Living). Development of Multi-Family Residential Apartments within either the Planned Commercial Development District (E-1) or the Mixed Use (E-3) Areas shall be in accordance with the following:

- A. Purpose. The purpose of these Architectural Guidelines is to establish the character, value, look, and style of the multi-family dwellings.
- B. General Requirements. Any building, structure or use of land, when erected or enlarged, shall provide architectural elements within the following provisions of this Section. The Builder shall submit to the Design Review Committee (DRC) for review and approval, all proposed building elevations with all exterior materials specified.

C. Design Standards. All multi-family dwellings shall be in accordance with the following standards and specifications:

1. 100% of the first floor of all front elevations, excluding windows, doors and similar appurtenances, shall be brick, stone or cultured stone; up to four (4) feet in height. Provided, however, that if the design of building so dictates, the brick, stone, or cultured stone which would occupy the first floor of the front elevation up to four (4) feet in height, excluding windows, doors, and similar appurtenances, may be located anywhere on the front elevation. In the alternative, the exterior building material of the entire building or structure may be a masonry/wood based siding product, in which case, no brick, stone, or cultured stone shall be required as an exterior building material. In no case shall concrete block (CMU) be permitted as an exterior finish material.
2. Rooftop equipment shall be fully screened on all sides using parapets, penthouse screens or other similar methods which are integrated into the overall building design.
3. Façades between 30-60 feet in length, measured horizontally, shall incorporate wall plane projections and fall within the city's provisions for exterior design.
4. Window grids shall be provided on all operable non-casement windows on all elevations.
5. Chimney chases shall be enclosed.
6. Sloped roofs shall extend with "overhangs" a minimum of twelve (12) inches on all sides of the building.
7. Vinyl siding shall not be permitted.
8. Any side elevation windows shall be treated by a decorative header, surround or similar appurtenance.
9. All utility panels shall be screened or located in an area not visible from a public street right-of-way.
10. In addition, each building shall have at least three (3) of the items below:
 - Reverse gable or hip roof
 - Decorative door surround, trim molding or header
 - Accent siding, decorative vents, or accents in gable peak or face
 - All front entry doors include sidelights or a transom
 - Bay or "boxed-out" windows
 - A keystone or decorative brick or wood surround provided on one or more windows or doors on the front elevation
 - Decorative columns
 - Brick full height of front façade, including gables
 - Brick wainscot around rear and both side elevations
 - Any other similar decorative accent or broader feature that may be reviewed for consideration
11. Sidewalks to be constructed at a minimum of 5' wide. Greenway Trails to be constructed 10' wide unless site constrains dictate a minimum of 8' in width.
12. No chain link, wire or similar fencing shall be permitted.

13. All utilities including, but not limited to, electrical power, telephone, television and internet cable, fiber optics and other such facilities shall be installed underground, unless in the opinion of the Design Review Committee (DRC) and Alcoa Municipal/Regional Planning Commission, special conditions require otherwise.
14. Landscaping shall be incorporated around buildings softening hardscape materials that may be utilized and be complementary to the existing landscaping of other public spaces within Springbrook Farm
15. Parking areas shall be planned to accomplish a desirable transition with the streetscape and to provide for adequate planting, and safe pedestrian movement.
16. All signage shall be approved by the Design Review Committee.
17. In no case should structures be taller than 5 stories from ground elevation to the highest point of the structure.

Section 3. Professional Office Construction. Development of Professional Office Buildings within either the Planned Commercial Development District (E-1) or the Mixed-Use Area (E-3) shall be in accordance with the following:

- A. Purpose. The purpose of these Architectural Guidelines is to establish the character, value, look, and style of the professional office buildings.
- B. General Requirements. Any building, structure or use of the land, when erected or enlarged, shall provide architectural elements within the following provisions of this Section. The Builder shall submit to the Design Review Committee (DRC) for review and approval all proposed building elevations with all exterior materials specified.
- C. Design Standards. All professional office buildings shall be in accordance with the following standards and specifications:
 1. All elevations of one and multi-story buildings shall be masonry, brick, stone, cultured stone, plaster/stucco/EIFS product, decorative metal, wood or a masonry/wood based siding product, excluding windows, doors and similar appurtenances. Flat faced concrete block is not a permitted exterior finish material. Textured concrete block glazed or dyed used in conjunction with other materials and with appealing relief will be considered.
 2. A minimum of three materials shall be used for three, or more, story building exteriors from the following list: stone, brick, architectural pre-cast (panels or detailing), structural concrete panels, plaster/stucco/EIFS, architectural metal panels, glass ornamental metal. Flat or split faced concrete block shall be considered based on location and orientation.
 3. Façades between 30-60 feet in length, measured horizontally, shall incorporate wall plane projections and fall within the city's provisions for exterior design.
 4. Any building with a sloped roof shall extend with "overhangs" a minimum of twelve (12) inches on all sides of the building.
 5. Any sloped roofs shall be a maximum of fifty (50) feet without a change in roof plane, or gable or dormer.
 6. Sloped roofs shall be clad with either standing-seam metal or dimensional "shaped" asphalt/fiberglass shingles.

7. Sidewalks to be constructed at a minimum of 5' wide. Greenway trails to be constructed at 10' wide unless site constrains dictate a minimum of 8' in width.
8. Walls and roof planes should change plane at a minimum of every forty (40) feet.
9. Parking areas shall be planned to accomplish a desirable transition with the streetscape and to provide for adequate planting, and safe pedestrian movement.
10. Each building shall contain at least three (3) of the items below:
 - Cornices and Moldings
 - Wall Arches
 - Wall and Structural Columns and/or pilasters
 - Enhanced Entry Doorways, projected or Recessed
 - Enhanced Window Treatments
 - Distinct Textural Changes in Construction Materials (integrating a combination of brick, stone, cast stone, stucco, decorative metal, and wood or wood substitute are preferred)
 - Any other similar decorative accent or broader feature that may be reviewed for consideration
11. In no case should structures be taller than 4 stories from ground elevation to the highest point of the structure.

Section 4. Retail Construction (E-1). Development of Retail Buildings within the Planned Commercial Unit Development District (E-1) shall be in accordance with the following:

- A. Purpose. The purpose of these Architectural Guidelines is to establish the character, value, look, and style of the retail buildings.
- B. General Requirements. Any building, structure or use of land, when erected or enlarged, shall provide architectural elements within the following provisions of this Section. The Builder shall submit to the Design Review Committee (DRC) for review and approval all proposed building elevations with all exterior materials specified.
- C. Design Standards. All retail buildings shall be in accordance with the following standards and specifications:
 1. A minimum of three (3) materials shall be used for building exteriors from the following list: masonry (brick, stone, cut-faced block (internally colored or painted if not facing public right of way), stucco, glass, composite (fiber cement, cultured stone, (PVC), architectural pre-cast (panels or detailing), exterior insulated finish system (EIFS), decorative metal (architectural panels or ornamental), wood products.
 2. Front and side façades shall be of the same materials and similarly detailed.
 3. All façades of out-lot buildings shall be of the same materials and similarly detailed.
 4. All entrances shall be defined by architectural elements such as lentils, pediments, plasters, columns, awnings and other design elements appropriate to the architectural style and details of the building as a whole or shall project or recess by not less than three (3) feet. All public entrances shall be covered.

5. The roofs will be gabled, hip, full or parapet and shall be clad in wood shingles, slate, standing-seam metal, composite or PVC.
6. Building width ratio requirements shall be as follows:
 - Minimum Façade width for a single building shall be 20'.
 - All facades facing public right of way, or in view from the same, shall have a minimum of 5% fenestration.
 - Front façades greater than twenty (20) feet long, measured horizontally, shall require twenty percent (20%) fenestration. Should this not be achievable due to unique circumstances all four (4) sides of the structure must exceed 35% fenestration in aggregate. In addition, where large retail structures contain additional, separately owned or leased stores that occupy fewer than 25,000 square feet of gross floor area and have separate, exterior customer entrances, the street level façade of such stores shall be transparent vision glass between the height of three (3) feet and eight (8) feet above the walkway grade level for no fewer than sixty percent (60%) of the horizontal length of the building façade of such additional stores.
 - Façades greater than sixty (60) feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least three percent (3%) of the length of the façade and extending at least twenty percent (20%) of the length of the façade. No uninterrupted length of any façade shall exceed sixty (60) horizontal feet. Awnings shall not be counted as projections or recesses unless structurally supported from the ground.
 - Facades that cannot meet the previous requirement due to unique circumstances and construction techniques may be granted a variance by the DRC in exchange for color and material changes within the same parameters.
 - Façades shall include a repeating pattern that includes no fewer than three (3) of the following elements: color change; texture change; material change; fenestration, door or openings change; or profile change (turns and projections, etc.).
7. All trash collection facilities shall be masonry enclosed with decorative gates in discrete but accessible areas.
8. Parking areas shall be planned to accomplish a desirable transition with the streetscape and to provide for adequate planting, safe pedestrian movement and connection to the District pedestrian pathway/walkway system.
9. Parking lots shall be concrete, asphalt paving or brick pavers, or any combination thereof.
10. In no case should structures be taller than 40' tall measured from the ground to the highest point of the structure.
11. Sidewalks to be constructed at a minimum of 5' wide. Greenway trails to be constructed at 10' wide unless site constrains dictate a minimum of 8' in width.

Section 5. Retail Construction (E-3). Development of Retail Buildings within the Mixed-Use Area (E-3) shall be in accordance with the following:

- A. Purpose. The purpose of these Architectural Guidelines is to establish the character, value, look, and style of the neighborhood retail buildings.
- B. General Requirements. Any building, structure or use of land, when erected or enlarged, shall provide architectural elements within the following provisions of this Section. The Builder shall submit to the Design Review Committee (DRC) for review and approval all proposed building elevations with all exterior materials specified.
- C. Design Standards. All neighborhood retail buildings shall be in accordance with the following standards and specifications:
1. All elevations shall be masonry, brick, stone, cultured stone, decorative metal, wood or a masonry/wood based siding product, excluding windows, doors and similar appurtenances. Concrete block (CMU) is not a permitted exterior finish material.
 2. Front and side façades shall be of the same materials and similarly detailed.
 3. All entrances shall be defined by architectural elements such as lentils, pediments, plasters, columns, awnings and other design elements appropriate to the architectural style and details of the building as a whole or shall project or recess by not less than two (2) feet. All entrances shall be covered.
 4. The roofs of one-story buildings shall be gabled, hip, full or parapet and shall be clad in wood shingles, slate, dimensional "shaped" asphalt/fiberglass shingles, standing-seam metal, composite or PVC.
 5. Dormers shall be designed with the correct details, proportion and style consistent with the overall building composition and roofed with symmetrical gable, hip or barrel roofs. Belvederes, cupolas, and pergolas shall be permitted if appropriate to the style, well proportioned, and fully detailed.
 6. All vents, attic ventilators, turbines, flues and other roof penetrations shall be painted to match the color of the roof or flat black.
 7. Rooftop equipment shall be fully screened on all sides using parapets, penthouse screens or other similar methods and which are integrated into the overall building design.
 8. Gutters and downspouts shall be appropriate to or visually integrated with the architectural style of the structure.
 9. All trash collection facilities shall be masonry or wood enclosed with decorative gates in discrete but accessible areas.
 10. Exterior walks, steps, and ramps shall be masonry, stone or brick pavers, or poured or pre-cast concrete.
 11. Parking lots shall be concrete, asphalt paving or brick pavers, or any combination thereof.
 12. Building width ratio requirements shall be as follows:
 - Minimum Façade width for a single building shall be 20'.
 - All facades facing public right of way, or in view from the same, shall have a minimum of 5% fenestration
 - Front façades greater than twenty (20) feet long, measured horizontally, shall require twenty percent (20%) fenestration.
 - Façades greater than forty (40) feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least three percent (3%) of the length of

the façade and extending at least twenty percent (20%) of the length of the façade. No uninterrupted length of any façade shall exceed forty (40) horizontal feet.

- Façades shall include a repeating pattern that includes no fewer than three (3) of the following elements: color change; texture change; material change; fenestration, doors or openings change; or profile change (turns and projections, etc.).
13. Parking areas shall be planned to accomplish a desirable transition with the streetscape and to provide for adequate planting, safe pedestrian movement.
 14. In no case should the structures be taller than 24' measured from the ground to the highest point of the structure.
 15. Sidewalks to be constructed at a minimum of 5' wide. Greenway trails to be constructed at 10' wide unless site constrains dictate a minimum of 8' in width.

Section 6. Signs. All building signs within the development shall first comply with the local zoning ordinance at the time of submission and be in conformance with signage package approval by the Alcoa Municipal/Regional Planning Commission and the Design Review Committee. Signs will be allowed on any given elevation occupied by a tenant and will be allowed a sign at 2 SF of sign every 1 LF of building wall frontage for multi tenant buildings, and 1 SF of sign for every 1 LF of building wall frontage for single tenant buildings. All signage plans shall be submitted to the Design Review Committee and approved by the Design Review Committee prior to being permitted by the municipality. Any requested special exceptions are to be addressed with the Design Review Committee prior to the municipality. All signs located within one hundred (100) feet of any Residential Area shall not be illuminated during the hours from 10:00 pm to 5:00 am. Any alteration proposed for any already approved sign which alters the concept, or the intent of the original sign shall be submitted to the Design Review Committee again prior to being submitted the municipality prior to being permitted.

All ground mounted signs within the development shall first comply with the local zoning ordinance at the time of submission with exception to size. Ground mounted signs within the development, where approved by DRC and Alcoa Municipal/Regional Planning Commission shall comply with the attached signage package. Applicants with ground mounted off site signage will not be allowed ground mounted on site signage. All signage plans shall be submitted to the Design Review Committee and approved by the Design Review Committee prior to being permitted by the municipality. Any requested special exceptions are to be addressed with the Design Review Committee prior to the municipality. All signs located within one hundred (100) feet of any Residential Area shall not be illuminated during the hours from 10:00 pm to 5:00 am. Any alteration proposed for any already approved sign which alters the concept, or the intent of the original sign shall be submitted to the Design Review Committee again prior to being submitted the municipality prior to being permitted.

All non-building signage shall follow the attached signage renderings in overall design and concept.

Section 7. Landscaping. A Landscaping Plan for a building/development shall be submitted to, and approved by, the Design Review Committee (DRC) prior to be submitted to the municipality for approval and permitting. All Landscaping Programs shall comply with the Zoning Ordinance as well as the intent stated in this document and overall look and feel of the development, unless otherwise approved by the Design Review Committee. Any alteration proposed for any already approved Landscaping Plan which alters the concept, or the intent of the approved Landscaping Plan shall be submitted to the Design Review Committee again prior to being submitted the municipality prior to being permitted.

Landscaping shall be incorporated around buildings softening hardscape materials that may be utilized and be complementary to the existing landscaping of other public spaces within Springbrook Farm. Landscaping shall also be incorporated to soften other hardscape surfaces such as parking, sidewalks, plazas and other similar spaces.

Section 8. Site Lighting. All site lighting shall comply with local ordinance. Lighting should not exceed 25 feet in height and should match the existing fixtures in the development. Attached are the specifications on those fixtures. Lighting Plans for a development shall be submitted to, and approved by, the Design Review Committee (DRC) prior to be submitted to the municipality for permitting. Any alteration proposed for any already approved Lighting Plan which alters the concept, or the intent of the approved Lighting Plan shall be submitted to the Design Review Committee again prior to being submitted the municipality prior to being permitted

Section 9. Civil and Street Guidelines. All streets should be built to City of Alcoa Standards should the owner indent on them being dedicated in the future to the City. Please reference the engineering guidelines from the City of Alcoa. The development has also been master planned for grading and drainage. The Owner's engineers are required to work with the Design Review Committee on all grading and drainage activities proposed on site as onsite borrow and export sites are available within the development as well as master detention areas for parcels in many situations.

Section 10. Miscellaneous. All development shall be in conformance with all adopted local, state and federal regulations

Section 11. Severability Clause. If any section, clause, provision or portion of these guidelines shall be held to be invalid or unconstitutional by any court of competent jurisdiction, such holding shall not affect any other section, clause, provision, or portion of these guidelines which are not in and of themselves invalid or unconstitutional.



APPROVED JUL 18 2017

MDL

Lighting submittal

Roadway Improvements Alcoa West Development Alcoa Tennessee



Contents

714-08.05 Light Standards with arm composite

714-09.09 Luminaire A

714-09.09 Luminaire fitter A

714-09.10 Luminaire B

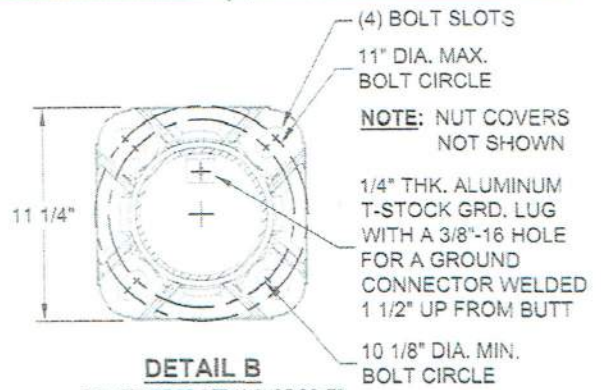
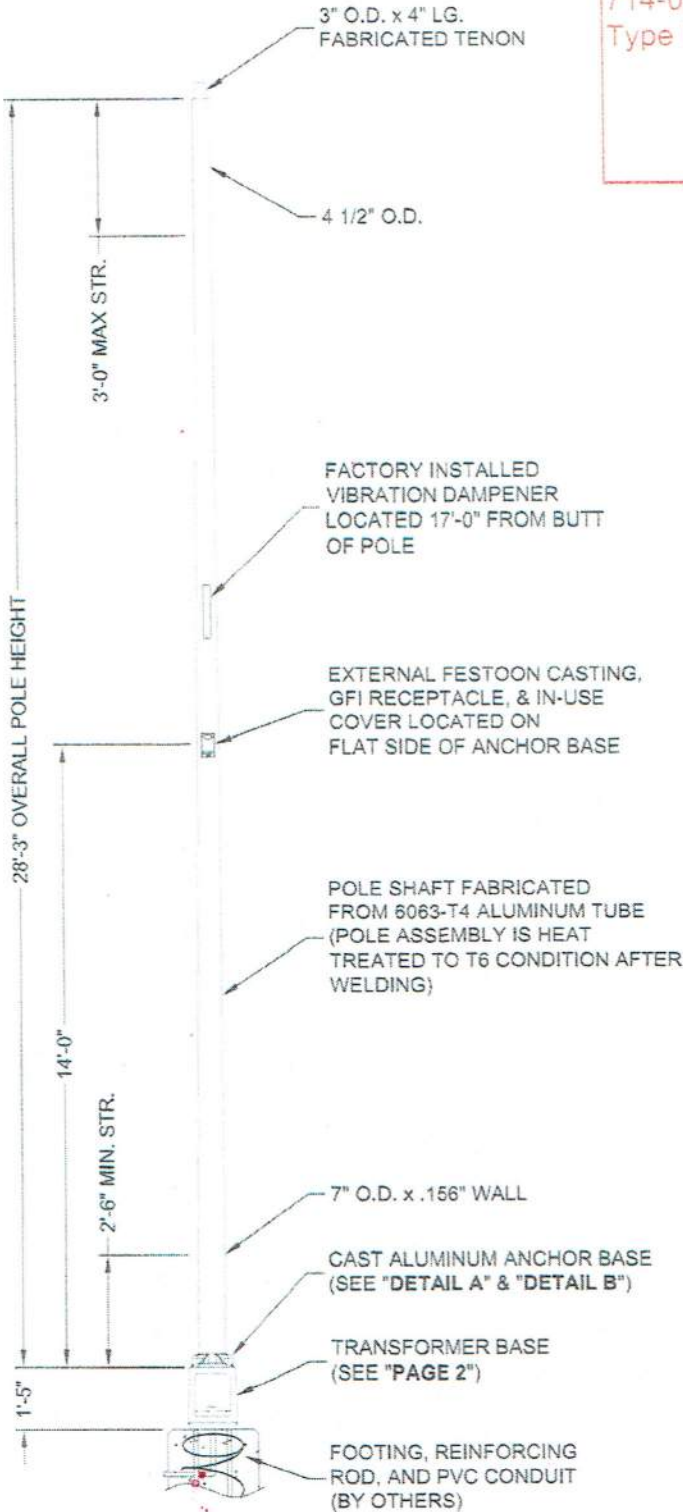
714-09.10 Luminaire B fitter

714-14.02 Mast arm

714-08.05 Light Standards
Type 'A' & 'B'

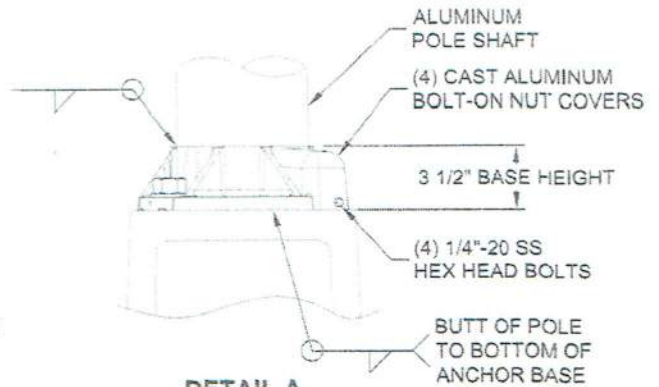
APPROVED JUL 18 2017

MDL



DETAIL B

DO NOT USE TO SET ANCHOR BOLTS
CONTACT CUSTOMER SERVICE FOR TEMPLATE



DETAIL A

POLE RATING (PER AASHTO 2013):
3-SEC GUST WIND SPEED 90 MPH MAX
EPA (LUMINAIRE): 2.3 SQ. FT. MAX
WEIGHT (LUMINAIRE): 63 LBS MAX
EPA (ARM): 2.51 SQ. FT. MAX
WEIGHT (ARM): 50 LBS MAX

NOTE: LUMINAIRE AND ARM SUPPLIED BY OTHERS.

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Arm: CAM72/1CABKH RFD230632

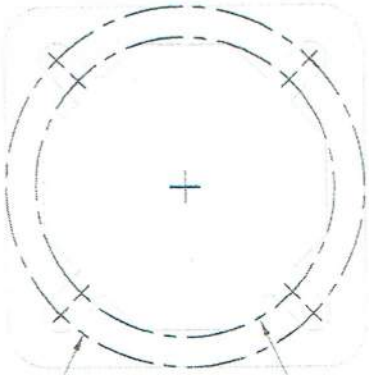
Customer Signature & Date:



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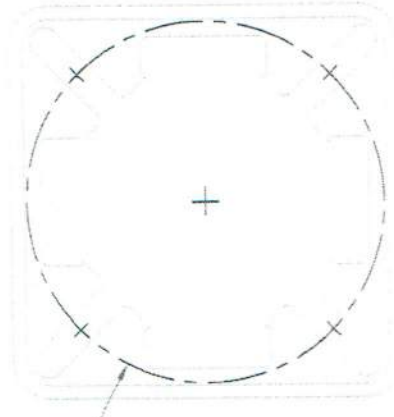
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MATERIAL: ALUMINUM ALLOY		CHK'D BY:
FINISH: POWDER PAINT - HOLOPHANE BLACK LAVA		APPR BY:
PROJECT: RFD230632 ALCOA TENNESSEE		DATE: 05/08/17
SOLD TO: WEST DEVELOPMENT UPDATE-G&S MEADOWS		DWG NO.: TSG010176
SHIP TO: ALCOA, TN		PAGE:
P.O. NO.: 2110-16-11428-2		1 / 3
REP: BRUCE BORDEN		
REV	DATE	REVISION DESCRIPTION
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12" DIA. MAXIMUM BOLT CIRCLE

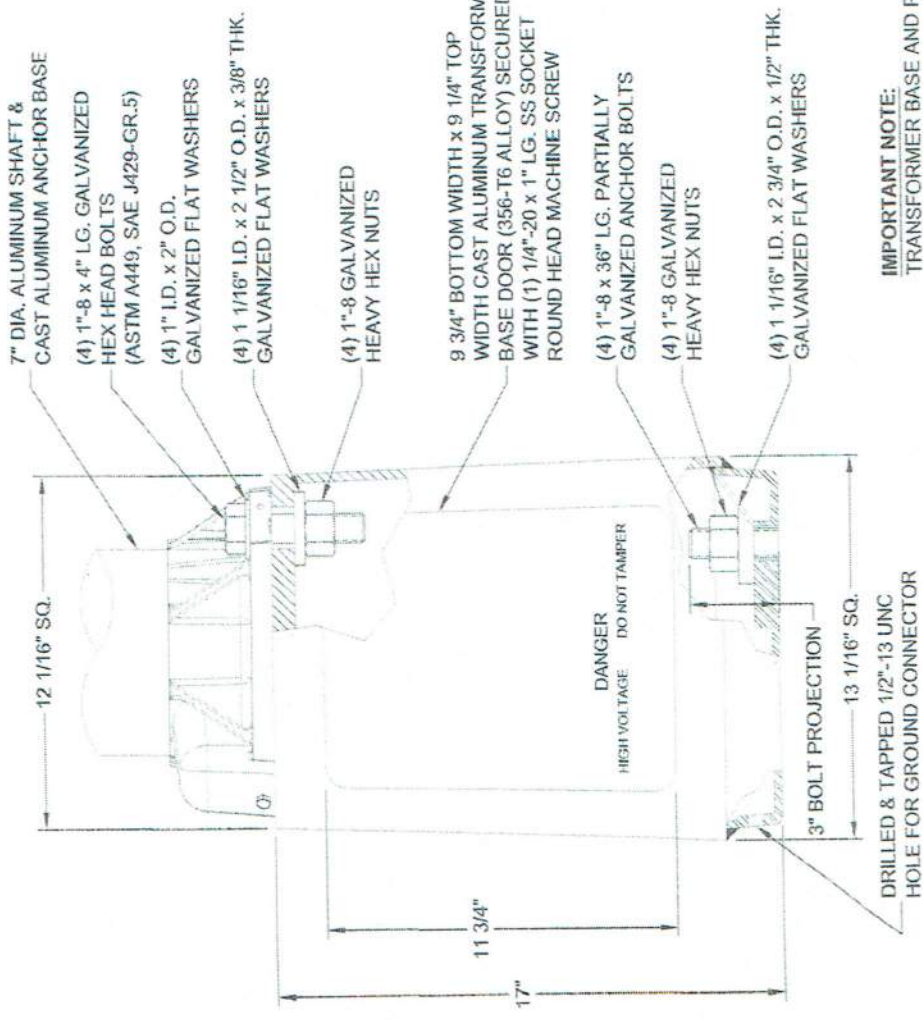
10" DIA. MINIMUM BOLT CIRCLE

TOP BOLT CIRCLE



12" DIA. BOLT CIRCLE

BOTTOM BOLT CIRCLE



IMPORTANT NOTE:
TRANSFORMER BASE AND POLE TO BE LEVELED AS ONE UNIT, USING LEVELING SHIMS IF REQUIRED.

DO NOT SCALE

CITY:	105
DWN BY:	JRB/MAB
CHK'D BY:	
APPR BY:	
DATE:	05/08/17
DWG NO:	A3261
PAGE:	2 / 3
TITLE:	S TBASE 10"-12" BC BLK DR 7" RD 17"
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FINISH:	POWDER PAINT - HOLOPHANE BLACK LAVA
PROJECT:	RFD230632 ALCOA TENNESSEE
SOLD TO:	WEST DEVELOPMENT UPDATE - G&S MEADOWS
SHIP TO:	ALCOA, TN
P.O. NO.:	2110-16-11428-2
REP:	BRUCE BORDEN

HOLOPHANE
LEADER IN LIGHTING SOLUTIONS
3825 Columbus Rd., Granville, Ohio 43023

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CAUTION 1995 AASHTO

BEFORE THE INSTALLATION OF THE BASE, THE SERVICE USER SHOULD CONSULT WITH AUTHORIZED PERSONNEL FOR REGARDING PROPER APPLICATION LOADING TO BE SUSTAINED AND INSTALLATION INSTRUCTIONS. FAILURE TO FOLLOW THESE INSTRUCTIONS, OVERLOADING, IMPROPER LANDING OR RECORDING INSTALLATION, OR APPROACH OTHER STATIC LOADS, USE THE LARGEST POSSIBLE BOLT CIRCLES AND USE STEEL WASHERS AS SPECIFIED BELOW.

FOR 10" THRU 12" DIA. TOP BOLT CIRCLES:
USE 2 1/2" DIA. X 1 1/8" TH. GR2-304 IN. X 1 1/8" ID. X 1/2" TH. WASHERS.

FOR 12" THRU 12" DIA. BOTTOM BOLT CIRCLES:
USE 2 3/4" DIA. X 1 1/8" TH. GR2-304 IN. X 1 1/8" ID. X 1/2" TH. WASHERS.

FOR OPTIMUM PERFORMANCE, ALWAYS TRANSFORMER BASE ON A LEVEL SURFACE. FOR THE BASE, WHICH IS REQUIRED, IT MUST BE PRESENT THROUGHOUT THE WORK WITH A REFERENCE POINT, TORQUE GROUND MOUNTING BETS TO 150 FT.-LBS.

BREAKAWAY BASE
APPROVED BY I.A.W.A. TO 1995 AASHTO REQUIREMENTS



CAM72/1CABKH

See separate cut sheet
714-14.02

POLE RATING (PER AASHTO 2013):
 3-SEC GUST WIND SPEED 90 MPH MAX
 EPA (LUMINAIRE): 2.3 SQ. FT. MAX
 WEIGHT (LUMINAIRE): 63 LBS MAX
 EPA (ARM): 2.51 SQ. FT. MAX
 WEIGHT (ARM): 50 LBS MAX

NOTE: LUMINAIRE AND ARM SUPPLIED BY OTHERS.

Catalog #'s:
 See Sheet 1 for complete Cat. Nos.

Customer Signature & Date:

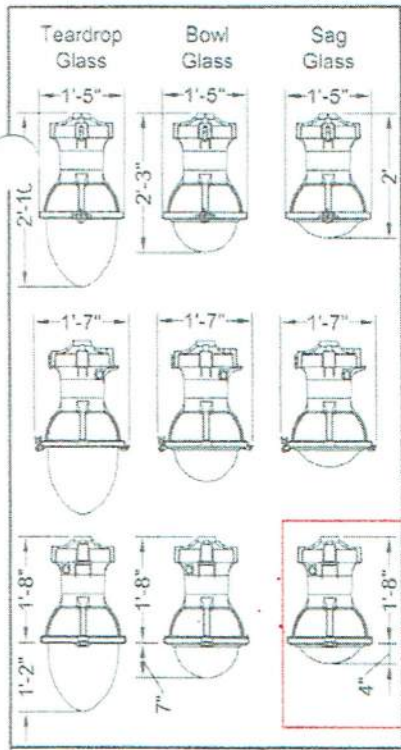


TITLE:	S TRANSFORMER BASE POLE	QTY:	105
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FINISH:	POWDER PAINT - HOLOPHANE BLACK LAVA	APPR BY:	
PROJECT:	RFD230632 ALCOA TENNESSEE	DATE:	05/08/17
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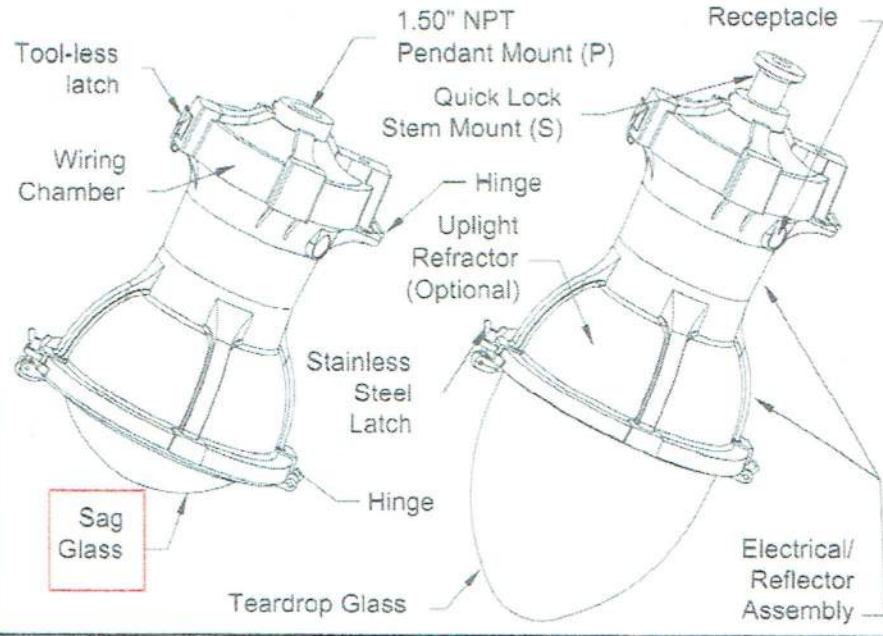
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REV	DATE	REVISION DESCRIPTION	BY
△			
△			
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Maximum Effective Projected Area - 2.37 ft²
 Maximum Weight - 69 lbs (Up Light Version)
 Maximum Weight - 60 lbs (Down Light Version)



Optional NEMA Turn-Lock Photocontrol Receptacle

Esplanade[®]
 Utility LED 2
 DECORATIVE OUTDOOR

EXAMPLE: ESL2 P10S 40K AS BK TG 3 S

ESL2	P10S	30K	AS	BK	SG	3	S
ORDERING INFORMATION: LUMEN / WATTAGE PACKAGE (SEE PERFORMANCE TABLE FOR DETAILS, Page 2) P10S = DOWN LIGHT P10U = DOWN LIGHT AND UP LIGHT P20S = DOWN LIGHT AND UP LIGHT** P20U = DOWN LIGHT AND UP LIGHT** P30S = DOWN LIGHT P35S = DOWN LIGHT P40S = DOWN LIGHT P50S = DOWN LIGHT P60S = DOWN LIGHT		COLOR TEMPERATURE 27K = 2700 CCT 30K = 3000 CCT 40K = 4000 CCT 50K = 5000 CCT	VOLTAGE AS = AUTO-SENSING 120 - 277 V AH = AUTO-SENSING 347 - 480 V	COLOR BK = BLACK DB = DARK BLUE GR = GRAY GH = GRAPHITE GN = GREEN PP = PRIME PAINT WH = WHITE BZ = BRONZE TDC = TIGER DRYLAC COLOR (RAL**) CMC = CUSTOM MATCH COLOR XX = STD FINISH, TBD	DOOR AND GLASS TG = TEARDROP * GLASS & DOOR BG = BOWL GLASS & DOOR SG = SAG GLASS & DOOR	OPTIC 3 = TYPE 3 ASYMMETRIC 5 = TYPE 5 SYMMETRIC	TOP ENTRY P = 1.5 NPT PENDENT MOUNT S = QUICK LOCK STEM MOUNT

HOLOPHANE[®]
 LEADER IN LIGHTING SOLUTIONS
 An Acuity Brands Company

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SS NL2x2

- OPTIONS**
- AO = ADJUSTABLE OUTPUT DIMMING (NOT AVAILABLE WITH OPTIONS "P5", "P7", OR ANY OTHER DIMMING OPTION)
 - R = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE (3 PIN)
 - P5 = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE (5 PIN)
 - P7 = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE (7 PIN)
 - PSC = SHORTING CAP (MUST BE USED WITH OPTION "R", "P5", OR "P7")
 - PCS = DTL TWISTLOCK PHOTOCONTROL FOR SOLID-STATE LIGHTING 120-277V (MUST BE USED WITH OPTION "R", "P5", OR "P7")
 - PCLL = DTL LONG LIFE TWISTLOCK PHOTOCONTROL FOR SOLID-STATE LIGHTING 120-277V (MUST BE USED WITH OPTION "R", "P5", OR "P7")
 - P34 = DTL TWISTLOCK PHOTOCONTROL 347V (MUST BE USED WITH OPTION "R", "P5" OR "P7")
 - P48 = DTL TWISTLOCK PHOTOCONTROL 480V (MUST BE USED WITH OPTION "R", "P5" OR "P7")
 - FPDXX = FACTORY PROGRAMMED DRIVER (XX = PERCENTAGE OF LUMENS OR WATTS, SEE PAGE 3)
 - DE = ROAM CONCIERGE DIMMING CONTROL (NOT AVAILABLE WITH VOLTAGE CODE AH, OR ANY OTHER PHOTOCONTROL OR DIMMING OPTION)
 - PND = 0-10V PART NIGHT DIMMING (AS VOLTAGE ONLY, MUST BE USED WITH OPTION "R")
 - DS = 30 INCH DIAMETER DEEP SKIRT FOR CUTOFF REQUIREMENT
 - SS = 30 INCH DIAMETER SHALLOW SKIRT FOR CUTOFF REQUIREMENT
 - L1 = 3FT PREWIRED LEADS
 - L2 = 10FT PREWIRED LEADS
 - L3 = 20FT PREWIRED LEADS
 - L4 = 25FT PREWIRED LEADS
 - L5 = 30FT PREWIRED LEADS
 - NL2X2 = 2"x2" ANSI WATTAGE LABEL
 - NL3X3 = 3"x3" ANSI WATTAGE LABEL

- ACCESSORIES**
- LT3HSS90 = HOUSE SIDE SHIELD, 90 DEGREE (AVAILABLE ON P10S, P10U, P20S, P20U, P30S, AND P35S)
 - LT3HSS120 = HOUSE SIDE SHIELD, 120 DEGREE (AVAILABLE ON P10S, P10U, P20S, P20U, P30S, AND P35S)
 - LT3HSS180 = HOUSE SIDE SHIELD, 180 DEGREE (AVAILABLE ON P10S, P10U, P20S, P20U, P30S, AND P35S)
 - LT5HSS90 = HOUSE SIDE SHIELD, 90 DEGREE (AVAILABLE ON P40S, P50S, AND P60S)
 - LT5HSS120 = HOUSE SIDE SHIELD, 120 DEGREE (AVAILABLE ON P40S, P50S, AND P60S)
 - LT5HSS180 = HOUSE SIDE SHIELD, 180 DEGREE (AVAILABLE ON P40S, P50S, AND P60S)

714-09.09 Luminaire Type 'A'

*NOTE: ONLY AVAILABLE TYPE 3
 **NOTE: ONLY AVAILABLE AS VOLTAGE

ORDER #:	
TYPE:	RAF
DRAWN:	2/4/2016
DATE:	LUM ESL2
DWG NO:	

Performance Data. For skirt and house side shield options, consult factory or website.

LED Package	Glass	Distribution	System Watts	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P10S	TG 3	T3S	57	6,947	122	1	3	3	7,101	125	1	3	3	7,451	131	1	3	3	7,400	130	1	3	3
	BG 3	T4M	57	6,731	118	2	3	3	6,880	121	2	3	3	7,220	127	2	3	3	7,170	126	2	3	3
	BG 5	T5S	57	7,087	124	3	3	2	7,244	127	3	3	2	7,601	133	3	3	3	7,549	132	3	3	3
	SG 3	T3S	57	6,877	120	1	3	3	6,973	122	1	3	3	7,317	128	1	3	3	7,266	127	1	3	3
	SG 5	T5S	57	7,164	126	3	2	1	7,322	128	3	2	1	7,683	135	3	2	1	7,631	134	3	2	1
P10U	TG 3	T3S	75	8,651	115	1	5	3	8,843	118	1	5	3	9,279	124	1	5	3	9,215	123	1	5	3
	BG 3	T4M	75	8,372	112	2	5	3	8,558	114	2	5	3	8,980	120	2	5	3	8,918	119	2	5	3
	BG 5	T5S	75	8,838	118	3	5	2	9,034	120	3	5	2	9,480	126	3	5	2	9,415	126	3	5	2
	SG 3	T3S	75	8,422	112	1	5	2	8,509	115	1	5	3	9,033	120	1	5	3	8,972	120	1	5	3
	SG 5	T5S	75	8,647	115	2	5	3	8,839	118	2	5	3	9,275	124	2	5	3	9,211	123	2	5	3
P20S	TG 3	T3S	83	9,610	116	2	3	3	9,823	118	2	3	3	10,308	124	2	3	3	10,237	123	2	3	3
	BG 3	T4M	83	9,312	112	2	3	4	9,519	115	2	3	4	9,988	120	2	3	4	9,919	120	2	3	4
	BG 5	T5S	83	9,804	118	3	3	3	10,021	121	3	3	3	10,515	127	4	3	3	10,443	126	4	3	3
	SG 3	T3S	83	9,437	114	1	3	3	9,646	116	2	3	3	10,122	122	2	3	3	10,053	121	2	3	3
	SG 5	T5S	83	9,910	119	3	3	2	10,130	122	3	3	2	10,630	128	3	3	2	10,557	127	3	3	2
P20U	TG 3	T3S	109	11,551	106	2	5	3	11,807	108	2	5	3	12,389	114	2	5	3	12,304	113	2	5	3
	BG 3	T4M	109	11,179	102	2	5	4	11,427	105	2	5	4	11,990	110	2	5	4	11,908	109	2	5	4
	BG 5	T5S	109	11,801	108	3	5	3	12,053	111	3	5	3	12,657	116	3	5	3	12,571	115	3	5	3
	SG 3	T3S	109	11,245	103	2	5	3	11,495	105	2	5	3	12,061	111	2	5	3	11,979	110	2	5	3
	SG 5	T5S	109	11,546	106	2	5	3	11,802	108	2	5	3	12,384	114	2	5	3	12,299	113	2	5	3
P30S	TG 3	T3S	118	12,634	107	2	3	3	12,914	109	2	3	3	13,551	115	2	3	3	13,458	114	2	3	3
	BG 3	T4M	118	12,242	104	2	3	4	12,513	106	2	3	4	13,130	111	3	3	5	13,040	111	3	3	5
	BG 5	T5S	118	12,888	109	4	3	3	13,174	112	4	3	3	13,823	117	4	3	3	13,729	116	4	3	3
	SG 3	T3S	118	12,406	105	2	3	3	12,681	107	2	3	3	13,307	113	2	3	3	13,215	112	2	3	3
	SG 5	T5S	118	13,028	110	3	3	2	13,317	113	3	3	2	13,974	118	4	3	2	13,879	118	4	3	2
P35S	TG 3	T3S	144	14,335	100	2	3	4	14,653	102	2	3	4	15,375	107	2	3	4	15,270	106	2	3	4
	BG 3	T4M	144	13,890	96	3	3	5	14,198	99	3	3	5	14,898	103	3	3	5	14,796	103	3	3	5
	BG 5	T5S	144	14,623	102	4	3	3	14,948	104	4	3	3	15,685	109	4	3	3	15,577	108	4	3	3
	SG 3	T3S	144	14,077	98	2	3	3	14,389	100	2	3	3	15,098	105	2	3	3	14,995	104	2	3	3
	SG 5	T5S	144	14,782	103	4	3	2	15,110	105	4	3	2	15,855	110	4	3	2	15,747	109	4	3	2
P40S	TG 3	T3S	140	15,649	112	3	3	4	15,996	114	3	3	4	16,785	120	3	3	4	16,670	119	3	3	4
	BG 3	T4M	140	14,746	105	3	4	5	15,073	108	3	4	5	15,816	113	3	4	5	15,707	112	3	4	5
	BG 5	T5S	140	15,484	111	4	3	4	15,827	113	4	3	4	16,608	119	4	4	4	16,494	118	4	4	4
	SG 3	T3S	140	14,937	107	2	3	4	15,268	109	2	3	4	16,021	114	2	3	4	15,911	114	2	3	4
	SG 5	T5S	140	16,071	115	4	3	3	16,427	117	4	3	3	17,237	123	4	3	3	17,119	122	4	3	3
P50S	TG 3	T3S	174	18,715	108	3	3	4	19,130	110	3	3	4	20,073	115	3	3	4	19,935	115	3	3	4
	BG 3	T4M	174	17,634	101	3	4	5	18,025	104	3	4	5	18,924	109	3	4	5	18,784	108	3	4	5
	BG 5	T5S	174	18,517	106	4	4	4	18,928	109	4	4	4	19,861	114	4	4	4	19,725	113	4	4	4
	SG 3	T3S	174	17,863	102	2	3	4	18,259	105	2	3	4	19,160	110	2	3	5	19,028	109	2	3	4
	SG 5	T5S	174	19,219	110	4	3	3	19,645	113	4	3	3	20,614	118	4	3	3	20,472	118	4	3	3
P50S	TG 3	T3S	242	22,997	95	3	3	5	23,508	97	3	3	5	24,667	102	3	3	5	24,497	101	3	3	5
	BG 3	T4M	242	21,670	90	3	4	5	22,150	92	3	4	5	23,244	96	3	4	5	23,083	95	3	4	5
	BG 5	T5S	242	22,755	94	5	4	5	23,259	96	5	4	5	24,409	101	5	4	5	24,239	100	5	4	5
	SG 3	T3S	242	21,951	91	3	3	5	22,438	93	3	3	5	23,545	97	3	3	5	23,383	97	3	3	5
	SG 5	T5S	242	23,617	98	4	3	3	24,141	100	4	3	3	25,331	105	4	3	3	25,157	104	4	3	3

S = Short M = Medium

Lumen Ambient Temperature Data

Lumen Ambient Temperature (LAT) Multipliers									
C	P10U	P20U	P10S	P20S	P30S	P35S	P40S	P50S	P60S
0	1.04	1.06	1.04	1.05	1.06	1.07	1.06	1.07	1.09
10	1.03	1.03	1.03	1.03	1.04	1.04	1.04	1.04	1.05
20	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.02
25	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
30	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.98
40	0.97	0.97	0.97	0.97	0.98	0.98	0.98	0.98	0.94

Lumen Maintenance Data

Lumen Maintenance (same for all LED packages)				
Hours	0	25,000	50,000	100,000
Factor	1	0.9	0.84	0.75

ORDER #:
 TYPE:
 DRAWN: RAF
 DATE: 2/4/2016
 DWG NO: LUM ESL2

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DECORATIVE OUTDOOR

Esplanade®
Utility LED 2

FPDXX Data Options

FPDxx setting	FPD5-27K						FPD5-30K						FPD5-40K						FPD5-50K					
	TG 3	BG 3	BG 5	SG 3	SG 5	Watts	TG 3	BG 3	BG 5	SG 3	SG 5	Watts	TG 3	BG 3	BG 5	SG 3	SG 5	Watts	TG 3	BG 3	BG 5	SG 3	SG 5	Watts
Standard	6.447	6.712	7.067	6.823	7.164	57	7.101	6.880	7.244	6.974	7.322	57	7.451	7.220	7.601	7.127	7.481	57	7.808	7.570	7.949	7.266	7.611	57
FPD55	6.638	6.432	6.772	6.519	6.846	54	6.785	6.574	6.927	6.661	6.997	54	7.170	6.959	7.263	6.990	7.342	54	7.571	6.951	7.218	6.948	7.292	54
FPD90	6.326	6.129	6.453	6.212	6.523	51	6.466	6.263	6.595	6.349	6.667	51	6.859	6.574	6.921	6.668	6.996	51	7.268	6.920	7.074	6.920	7.248	51
FPD85	6.009	5.822	6.130	5.991	6.197	48	6.142	5.951	6.286	6.032	6.234	48	6.445	6.245	6.575	6.229	6.441	48	6.801	6.202	6.530	6.285	6.601	48
FPD40	5.889	5.512	5.834	5.587	5.867	45	5.815	5.634	5.932	5.720	5.956	45	6.102	5.918	6.225	5.992	6.292	45	6.060	5.872	6.182	5.950	6.249	45
FPD75	5.565	5.199	5.474	5.249	5.533	42	5.484	5.314	5.595	5.386	5.651	42	5.755	5.576	5.871	5.651	5.934	42	6.135	5.588	5.820	5.612	5.894	42

ORDER #:
TYPE:
DRAWN: RAF
DATE: 2/4/2016
DWG NO: LUM ESL2

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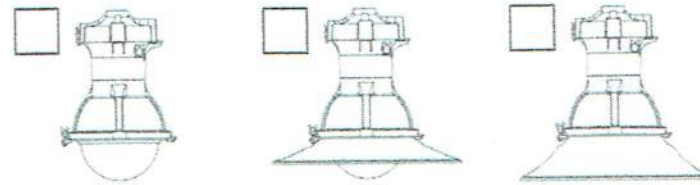
DECORATIVE OUTDOOR
Esplanade®
 Utility LED 2

Mark Appropriate
Box for Trim Option

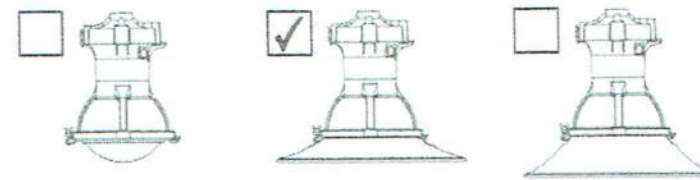
Teardrop Glass
(Asymmetric)



Bowl Glass
(Asymmetric)
(Symmetric)

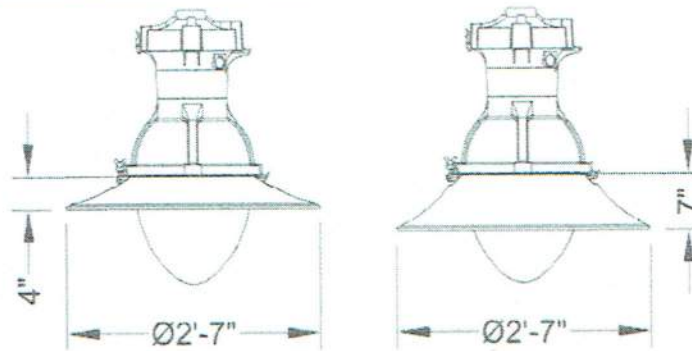


Sag Glass
(Asymmetric)
(Symmetric)



Skirt Dimensions

(For Teardrop, Bowl, and Sag glass)



Specifications

DESCRIPTION

The Esplanade luminaire is styled to replicate the "teardrop" luminaires that lighted boulevards in the first half of the 1900s. Designed for light control and ease of installation and maintenance, the Esplanade has a precision optical system for true street lighting performance.

WIRING CHAMBER

The wiring chamber has either a 1.50 inch NPT with a stainless steel set screw or a welded stem. The stem (Quick Lock Stem Mounting option) aids installation speed. A (3) station terminal block that accepts #14 through #2 wires and has a quick disconnect harness with removable electrical module is provided.

ELECTRICAL / REFLECTOR ASSEMBLY

The electrical / reflector assembly hinges down from the wiring chamber for ease in wiring and to facilitate the removal of the electrical module. The assembly is secured in place by a stainless steel latch. The unitized electrical module consists of the electronic driver and components mounted to an aluminum plate that is easily removed by loosening two screws in the base of the housing. The disconnect plug connects the ballast to the terminal block in the wiring chamber.

REFRACTOR / DOOR ASSEMBLY

The cast aluminum door supports a teardrop, bowl or sag shaped, thermal resistant borosilicate glass refractor that controls the light to provide an I.E.S. asymmetric (teardrop, bowl and sag glass) and symmetric (bowl and sag glass) distribution. I.E.S. asymmetric cut off distribution is available on the bowl glass with the decorative deep skirt option and the sag glass with either the decorative shallow or deep skirt option. The refractor assembly and decorative skirt (when applicable) assembly hinges from the electrical / reflector assembly and is latched by a tamper-resistant, color matched bracket and with nut assembly.

DRIVER

LED programmable dimmable driver located in the upper electrical housing.

FINISH / MATERIAL

The luminaire is finished with polyester powder paint to insure maximum durability. All castings utilize low copper aluminum for maximum corrosion resistance and all exposed hardware is stainless steel.

CERTIFICATION

CSA listing suitable for wet location up to 40°C. Consult factory for details.

Esplanade[®]
Utility LED 2

DECORATIVE
OUTDOOR

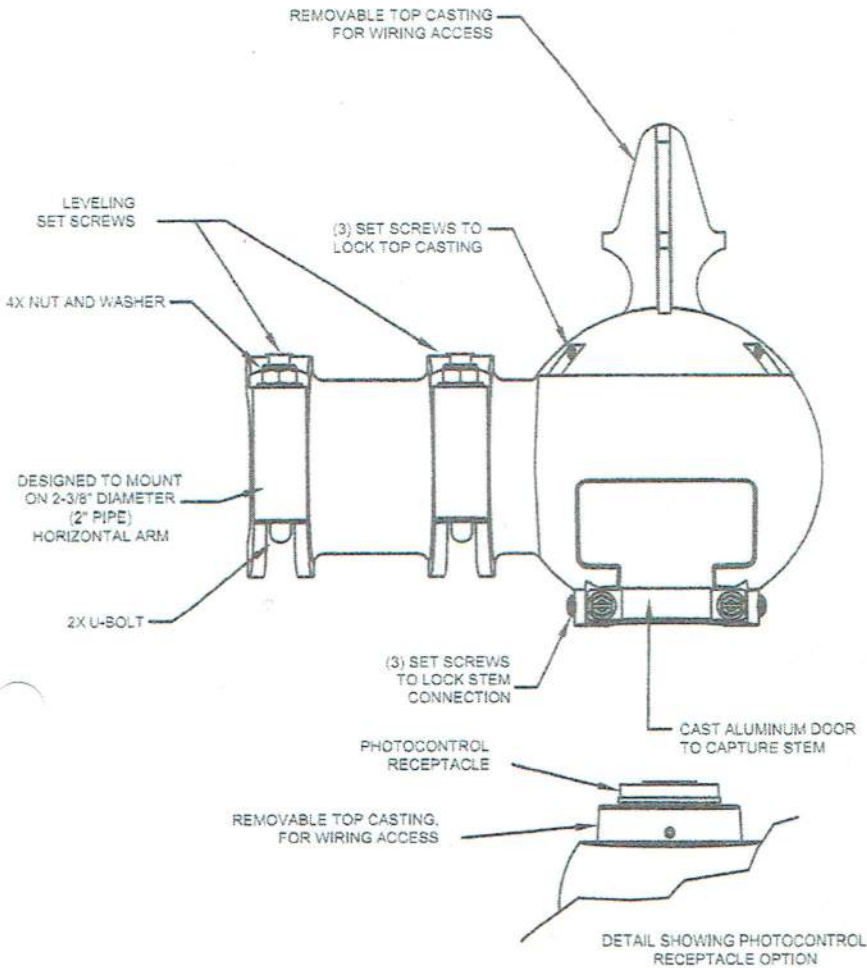
HOLOPHANE[®]
LEADER IN LIGHTING SOLUTIONS
An Acuity Brands Company

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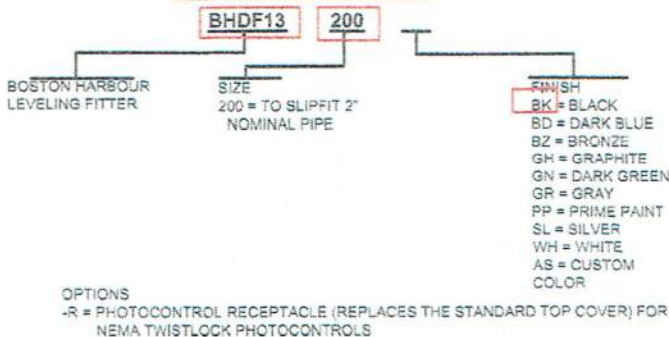
ORDER #: _____
TYPE: _____
DRAWN: RAF
DATE: 2/4/2016
DWG NO: LUM ESL2

Boston Harbour Style Decorative Arm Fitter

For Use with Quick Lock Stem mounting luminaires



ORDERING INFORMATION



Specifications

GENERAL DESCRIPTION

The Boston Harbour style decorative arm fitter is designed to replicate the look of period cast arm mounts.

MATERIAL

The fitter body, top cover, and door assembly shall be heavy wall cast aluminum. All mounting and locking hardware shall be stainless steel.

INSTALLATION

The fitter is designed to be used with luminaires having a welded pendant mount stem. The contoured door (with integral lanyard) is removed to allow the stem to engage inside the fitter. The door is replaced to the capture the luminaire stem. The fitter is provided with (2) U-bolts, washers and nuts and (2) leveling set screws that lock the fitter to a nominal 2" horizontal arm and allow a +/- 5 degree adjustment from horizontal to the fitter. The swivel action on the stem allows for +/- 4 degree adjustment from vertical. (3) set screws lock the threaded male connector in place. The cast top cover can be removed to allow access to the inside of the fitter to facilitate wire connections. (3) set screws lock the cover to the fitter.

FINISH

The fitter is finished with a polyester powder paint applied after a seven stage pretreatment process to insure maximum durability.

WARRANTY

Limited warranty located at [www.acuitybrands.com/CustomerResources/Terms and Conditions.aspx](http://www.acuitybrands.com/CustomerResources/TermsandConditions.aspx)

NOTE

Specifications subject to change without notice.

714-09.09 Luminaire

APPROVED JUL 18 2017

MDL

ARCHITECTURAL OUTDOOR ORDER #: **West Development, 'A' Fitter**

DRAWING NO: LUM_BHDF13

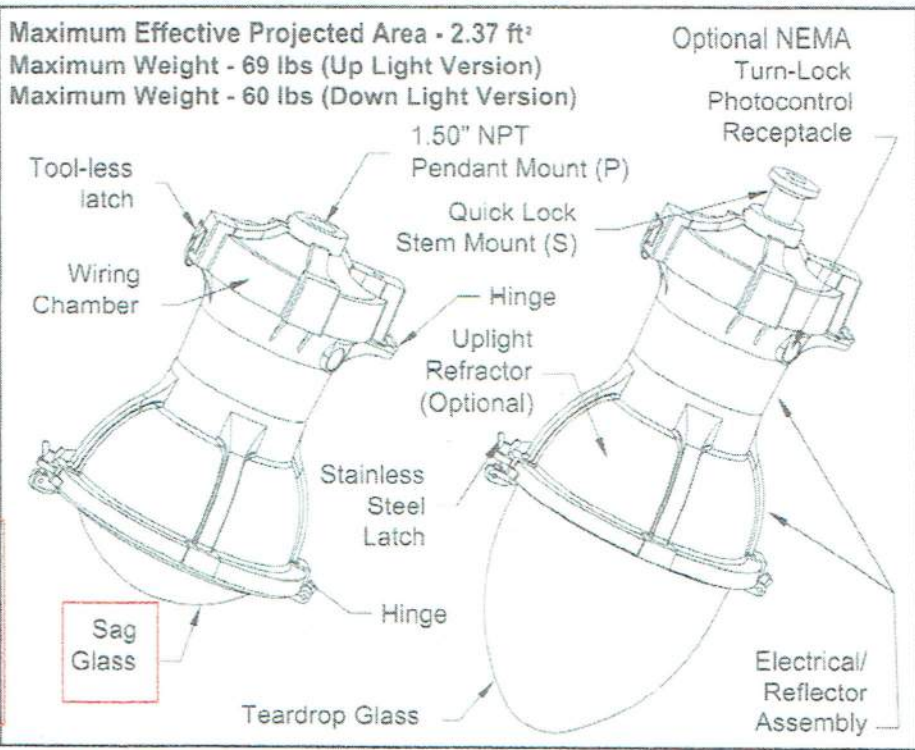
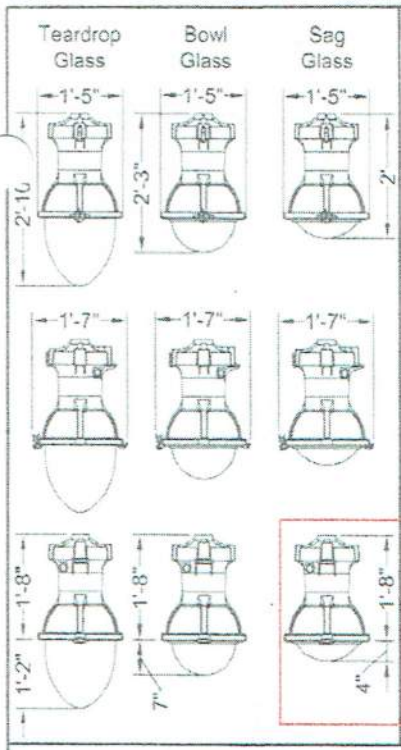
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SCALE: N/A
DRAWN: JCH
APP'D:
DATE: 4-1-13



Esplanade[®]
Utility LED 2

**DECORATIVE
OUTDOOR**

EXAMPLE: ESL2 P10S 40K AS BK TG 3 S

ORDERING INFORMATION:	ESL2	P20S	30K	AS	BK	SG	3	S
	LUMEN / WATTAGE PACKAGE (SEE PERFORMANCE TABLE FOR DETAILS, Page 2) P10S = DOWN LIGHT P10U = DOWN LIGHT AND UP LIGHT P20S = DOWN LIGHT P20U = DOWN LIGHT AND UP LIGHT** P30S = DOWN LIGHT P35S = DOWN LIGHT P40S = DOWN LIGHT P50S = DOWN LIGHT P60S = DOWN LIGHT		COLOR TEMPERATURE 27K = 2700 CCT 30K = 3000 CCT 40K = 4000 CCT 50K = 5000 CCT	VOLTAGE AS = AUTO-SENSING 120 - 277 V AH = AUTO-SENSING 347 - 480 V	COLOR BK = BLACK DB = DARK BLUE GR = GRAY GH = GRAPHITE GN = GREEN PP = PRIME PAINT WH = WHITE BZ = BRONZE TDC = TIGER DRYLAC COLOR (RAL***) CMC = CUSTOM MATCH COLOR XX = STD FINISH, TBD		DOOR AND GLASS TG = TEARDROP * GLASS & DOOR BG = BOWL GLASS & DOOR SG = SAG GLASS & DOOR	OPTIC 3 = TYPE 3 ASYMMETRIC 5 = TYPE 5 SYMMETRIC

HOLOPHANE[®]
LEADER IN LIGHTING SOLUTIONS
An Esplanade Company

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SS NL2x2

OPTIONS
AO = ADJUSTABLE OUTPUT DIMMING (NOT AVAILABLE WITH OPTIONS "P5", "P7", OR ANY OTHER DIMMING OPTION)
R = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE (3 PIN)
P5 = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE (5 PIN)
P7 = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE (7 PIN)
PSC = SHORTING CAP (MUST BE USED WITH OPTION "R", "P5" OR "P7")
PCS = DTL TWISTLOCK PHOTOCONTROL FOR SOLID-STATE LIGHTING 120-277V (MUST BE USED WITH OPTION "R", "P5", OR "P7")
PCLL = DTL LONG LIFE TWISTLOCK PHOTOCONTROL FOR SOLID-STATE LIGHTING 120-277V (MUST BE USED WITH OPTION "R", "P5", OR "P7")
P34 = DTL TWISTLOCK PHOTOCONTROL 347V (MUST BE USED WITH OPTION "R", "P5" OR "P7")
P48 = DTL TWISTLOCK PHOTOCONTROL 480V (MUST BE USED WITH OPTION "R", "P5" OR "P7")
FPDXX = FACTORY PROGRAMMED DRIVER (XX = PERCENTAGE OF LUMENS OR WATTS, SEE PAGE 3)
DE = ROAM CONCIERGE DIMMING CONTROL (NOT AVAILABLE WITH VOLTAGE CODE AH, OR ANY OTHER PHOTOCONTROL OR DIMMING OPTION)
PND = 0-10V PART NIGHT DIMMING (AS VOLTAGE ONLY, MUST BE USED WITH OPTION "R")
DS = 30 INCH DIAMETER DEEP SKIRT FOR CUTOFF REQUIREMENT
SS = 30 INCH DIAMETER SHALLOW SKIRT FOR CUTOFF REQUIREMENT
LH = 3FT PREWIRED LEADS
L10 = 10FT PREWIRED LEADS
L20 = 20FT PREWIRED LEADS
L25 = 25FT PREWIRED LEADS
L30 = 30FT PREWIRED LEADS
NL2X2 = 2"x2" ANSI WATTAGE LABEL
NL3X3 = 3"x3" ANSI WATTAGE LABEL

ACCESSORIES
LT3HSS90 = HOUSE SIDE SHIELD, 90 DEGREE (AVAILABLE ON P10S, P10U, P20S, P20U, P30S, AND P35S)
LT3HSS120 = HOUSE SIDE SHIELD, 120 DEGREE (AVAILABLE ON P10S, P10U, P20S, P20U, P30S, AND P35S)
LT3HSS180 = HOUSE SIDE SHIELD, 180 DEGREE (AVAILABLE ON P10S, P10U, P20S, P20U, P30S, AND P35S)
LT5HSS90 = HOUSE SIDE SHIELD, 90 DEGREE (AVAILABLE ON P40S, P50S, AND P60S)
LT5HSS120 = HOUSE SIDE SHIELD, 120 DEGREE (AVAILABLE ON P40S, P50S, AND P60S)
LT5HSS180 = HOUSE SIDE SHIELD, 180 DEGREE (AVAILABLE ON P40S, P50S, AND P60S)

714-09.10 Luminaire
Type 'B'

APPROVED JUL 18 2017

MDL

***NOTE: ONLY AVAILABLE TYPE 3**
****NOTE: ONLY AVAILABLE AS VOLTAGE**

ORDER #:

TYPE:

DRAWN: RAF

DATE: 2/4/2016

DWG NO: LUM ESL2

1 of 4

Performance Data. For skirt and house side shield options, consult factory or website.

LED Package	Glass	Distribution	System Watts	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P10S	TG 3	T3S	57	6,947	122	1	3	3	7,101	125	1	3	3	7,451	131	1	3	3	7,400	130	1	3	3
	BG 3	T4M	57	6,731	118	2	3	3	6,880	121	2	3	3	7,220	127	2	3	3	7,170	126	2	3	3
	BG 5	T5S	57	7,087	124	3	3	2	7,244	127	3	3	2	7,601	133	3	3	3	7,549	132	3	3	3
	SG 3	T3S	57	6,872	120	1	3	3	6,973	122	1	3	3	7,317	128	1	3	3	7,266	127	1	3	3
	SG 5	T5S	57	7,164	126	3	2	1	7,322	128	3	3	1	7,683	135	3	3	1	7,631	134	3	3	1
P10U	TG 3	T3S	75	8,651	115	1	5	3	8,843	118	1	5	3	9,279	124	1	5	3	9,215	123	1	5	3
	BG 3	T4M	75	8,372	112	2	5	3	8,558	114	2	5	3	8,980	120	2	5	3	8,918	119	2	5	3
	BG 5	T5S	75	8,838	118	3	5	2	9,034	120	3	5	2	9,480	126	3	5	2	9,415	126	3	5	2
	SG 3	T3S	75	8,422	112	1	5	2	8,609	115	1	5	3	9,038	120	1	5	3	8,972	120	1	5	3
	SG 5	T5S	75	8,647	115	2	5	3	8,839	118	2	5	3	9,275	124	2	5	3	9,211	123	2	5	3
P20S	TG 3	T3S	83	9,610	116	2	3	3	9,823	118	2	3	3	10,308	124	2	3	3	10,237	123	2	3	3
	BG 3	T4M	83	9,312	112	2	3	4	9,519	115	2	3	4	9,988	120	2	3	4	9,919	120	2	3	4
	BG 5	T5S	83	9,804	118	3	3	3	10,021	121	3	3	3	10,515	127	4	3	3	10,443	126	4	3	3
	SG 3	T3S	83	9,437	114	1	3	3	9,646	116	2	3	3	10,122	122	2	3	3	10,053	121	2	3	3
	SG 5	T5S	83	9,910	119	3	3	2	10,130	122	3	3	2	10,630	128	3	3	2	10,557	127	3	3	2
P20U	TG 3	T3S	109	11,551	106	2	5	3	11,807	108	2	5	3	12,389	114	2	5	3	12,304	113	2	5	3
	BG 3	T4M	109	11,179	103	2	5	4	11,427	105	2	5	4	11,990	110	2	5	4	11,908	109	2	5	4
	BG 5	T5S	109	11,801	108	3	5	3	12,052	111	3	5	3	12,657	116	3	5	3	12,571	115	3	5	3
	SG 3	T3S	109	11,245	103	2	5	3	11,495	105	2	5	3	12,061	111	2	5	3	11,979	110	2	5	3
	SG 5	T5S	109	11,546	106	2	5	3	11,802	108	2	5	3	12,384	114	2	5	3	12,299	113	2	5	3
P30S	TG 3	T3S	118	12,634	107	2	3	3	12,914	109	2	3	3	13,551	115	2	3	3	13,458	114	2	3	3
	BG 3	T4M	118	12,242	104	2	3	4	12,513	106	2	3	4	13,130	111	3	3	5	13,040	111	3	3	5
	BG 5	T5S	118	12,888	109	4	3	3	13,174	112	4	3	3	13,823	117	4	3	3	13,729	116	4	3	3
	SG 3	T3S	118	12,406	105	2	3	3	12,681	107	2	3	3	13,307	113	2	3	3	13,215	112	2	3	3
	SG 5	T5S	118	13,028	110	3	3	2	13,317	113	3	3	2	13,974	118	4	3	2	13,879	118	4	3	2
P35S	TG 3	T3S	144	14,335	100	2	3	4	14,653	102	2	3	4	15,375	107	2	3	4	15,270	106	2	3	4
	BG 3	T4M	144	13,890	96	3	3	5	14,198	99	3	3	5	14,898	103	3	3	5	14,796	103	3	3	5
	BG 5	T5S	144	14,623	102	4	3	3	14,948	104	4	3	3	15,685	109	4	3	3	15,577	108	4	3	3
	SG 3	T3S	144	14,077	98	2	3	3	14,389	100	2	3	3	15,098	105	2	3	3	14,995	104	2	3	3
	SG 5	T5S	144	14,782	103	4	3	2	15,110	105	4	3	2	15,855	110	4	3	2	15,747	109	4	3	2
P40S	TG 3	T3S	140	15,649	112	3	3	4	15,996	114	3	3	4	16,785	120	3	3	4	16,670	119	3	3	4
	BG 3	T4M	140	14,746	105	3	4	5	15,073	108	3	4	5	15,816	113	3	4	5	15,707	112	3	4	5
	BG 5	T5S	140	15,484	111	4	3	4	15,827	113	4	3	4	16,608	119	4	4	4	16,494	118	4	4	4
	SG 3	T3S	140	14,937	107	2	3	4	15,268	109	2	3	4	16,021	114	2	3	4	15,911	114	2	3	4
	SG 5	T5S	140	16,071	115	4	3	3	16,427	117	4	3	3	17,237	123	4	3	3	17,119	122	4	3	3
P50S	TG 3	T3S	174	18,715	108	3	3	4	19,130	110	3	3	4	20,073	115	3	3	4	19,935	115	3	3	4
	BG 3	T4M	174	17,634	101	3	4	5	18,025	104	3	4	5	18,914	109	3	4	5	18,784	108	3	4	5
	BG 5	T5S	174	18,517	106	4	4	4	18,928	109	4	4	4	19,861	114	4	4	4	19,725	113	4	4	4
	SG 3	T3S	174	17,863	103	2	3	4	18,259	105	2	3	4	19,160	110	2	3	5	19,028	109	2	3	4
	SG 5	T5S	174	19,219	110	4	3	3	19,645	113	4	3	3	20,614	118	4	3	3	20,472	118	4	3	3
P60S	TG 3	T3S	242	22,997	95	3	3	5	23,508	97	3	3	5	24,667	102	3	3	5	24,497	101	3	3	5
	BG 3	T4M	242	21,670	90	3	4	5	22,150	92	3	4	5	23,244	96	3	4	5	23,083	95	3	4	5
	BG 5	T5S	242	22,755	94	5	4	5	23,259	96	5	4	5	24,409	101	5	4	5	24,239	100	5	4	5
	SG 3	T3S	242	21,951	91	3	3	5	22,438	93	3	3	5	23,545	97	3	3	5	23,383	97	3	3	5
	SG 5	T5S	242	23,617	98	4	3	3	24,141	100	4	3	3	25,331	105	4	3	3	25,157	104	4	3	3

S = Short M = Medium

Lumen Ambient Temperature Data

Lumen Ambient Temperature (LAT) Multipliers									
°C	P10U	P20U	P16S	P20S	P30S	P35S	P40S	P50S	P60S
0	1.04	1.05	1.04	1.05	1.06	1.07	1.08	1.07	1.09
10	1.03	1.03	1.03	1.03	1.04	1.04	1.04	1.04	1.05
20	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.02
25	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
30	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.98
40	0.97	0.97	0.97	0.97	0.96	0.96	0.96	0.96	0.94

Lumen Maintenance Data

Lumen Maintenance (same for all LED packages)				
Hours	0	25,000	50,000	100,000
Factor	1	0.9	0.84	0.75

ORDER #:
 TYPE:
 DRAWN: RAF
 DATE: 2/4/2016
 DWG NO: LUM ESL2

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DECORATIVE OUTDOOR

Esplanade®
Utility LED 2

FPDXX Data Options

FPDXX HTYPE	FPD27K						FPD30K						FPD40K						FPD50K					
	TG 3	BG 3	BG 5	SG 3	SG 5	Watts	TG 3	BG 3	BG 5	SG 3	SG 5	Watts	TG 3	BG 3	BG 5	SG 3	SG 5	Watts	TG 3	BG 3	BG 5	SG 3	SG 5	Watts
Standard	6.947	6.711	7.087	6.627	7.164	57	7.107	6.880	7.244	6.973	7.377	57	7.451	7.220	7.607	7.357	7.881	57	7.490	7.270	7.549	7.266	7.631	57
FPD05	6.638	6.482	6.772	6.519	6.846	54	6.785	6.574	6.972	6.683	6.997	54	7.120	6.899	7.263	6.992	7.341	54	7.071	6.851	7.213	6.947	7.297	54
FPD90	6.325	6.129	6.453	6.212	6.523	51	6.466	6.265	6.599	6.349	6.667	51	6.785	6.574	6.972	6.683	6.999	51	6.748	6.529	6.874	6.626	6.948	51
FPD85	6.009	5.821	6.150	5.891	6.197	48	6.142	5.953	6.286	6.032	6.324	48	6.445	6.243	6.575	6.329	6.646	48	6.401	6.202	6.530	6.285	6.601	48
FPD80	5.689	5.527	5.804	5.587	5.967	45	5.815	5.634	5.932	5.710	5.999	45	6.102	5.913	6.275	5.992	6.292	45	6.060	5.872	6.182	5.950	6.249	45
FPD75	5.365	5.189	5.474	5.269	5.533	42	5.484	5.314	5.595	5.386	5.655	42	5.755	5.576	5.871	5.652	5.944	42	5.715	5.538	5.830	5.612	5.894	42

ORDER #:
TYPE:
DRAWN: RAF
DATE: 2/4/2016
DWG NO: LUM ESL2

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DECORATIVE
OUTDOOR

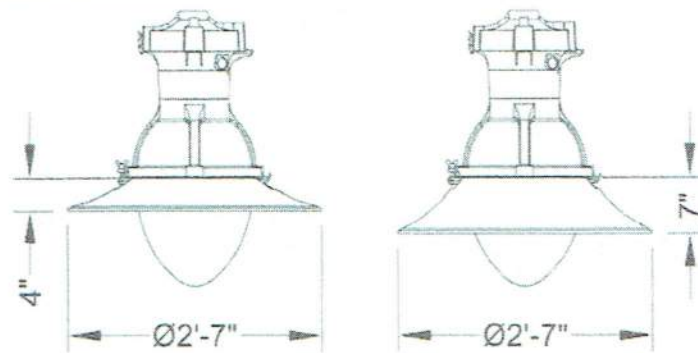
Esplanade®
Utility LED 2

Mark Appropriate Box for Trim Option

	Standard	Shallow Skirt	Deep Skirt
Teardrop Glass (Asymmetric)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bowl Glass (Asymmetric) (Symmetric)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sag Glass (Asymmetric) (Symmetric)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Skirt Dimensions

(For Teardrop, Bowl, and Sag glass)



Specifications

DESCRIPTION

The Esplanade luminaire is styled to replicate the "teardrop" luminaires that lighted boulevards in the first half of the 1900s. Designed for light control and ease of installation and maintenance, the Esplanade has a precision optical system for true street lighting performance.

WIRING CHAMBER

The wiring chamber has either a 1.50 inch NPT with a stainless steel set screw or a welded stem. The stem (Quick Lock Stem Mounting option) aids installation speed. A (3) station terminal block that accepts #14 through #2 wires and has a quick disconnect harness with removable electrical module is provided.

ELECTRICAL / REFLECTOR ASSEMBLY

The electrical / reflector assembly hinges down from the wiring chamber for ease in wiring and to facilitate the removal of the electrical module. The assembly is secured in place by a stainless steel latch. The unitized electrical module consists of the electronic driver and components mounted to an aluminum plate that is easily removed by loosening two screws in the base of the housing. The disconnect plug connects the ballast to the terminal block in the wiring chamber.

REFRACTOR / DOOR ASSEMBLY

The cast aluminum door supports a teardrop, bowl or sag shaped, thermal resistant borosilicate glass refractor that controls the light to provide an I.E.S. asymmetric (teardrop, bowl and sag glass) and symmetric (bowl and sag glass) distribution. I.E.S. asymmetric cut off distribution is available on the bowl glass with the decorative deep skirt option and the sag glass with either the decorative shallow or deep skirt option. The refractor assembly and decorative skirt (when applicable) assembly hinges from the electrical / reflector assembly and is latched by a tamper-resistant, color matched bracket and with nut assembly.

DRIVER

LED programmable dimmable driver located in the upper electrical housing.

FINISH / MATERIAL

The luminaire is finished with polyester powder paint to insure maximum durability. All castings utilize low copper aluminum for maximum corrosion resistance and all exposed hardware is stainless steel.

CERTIFICATION

CSA listing suitable for wet location up to 40°C. Consult factory for details.

Esplanade
Utility LED 2

DECORATIVE
OUTDOOR

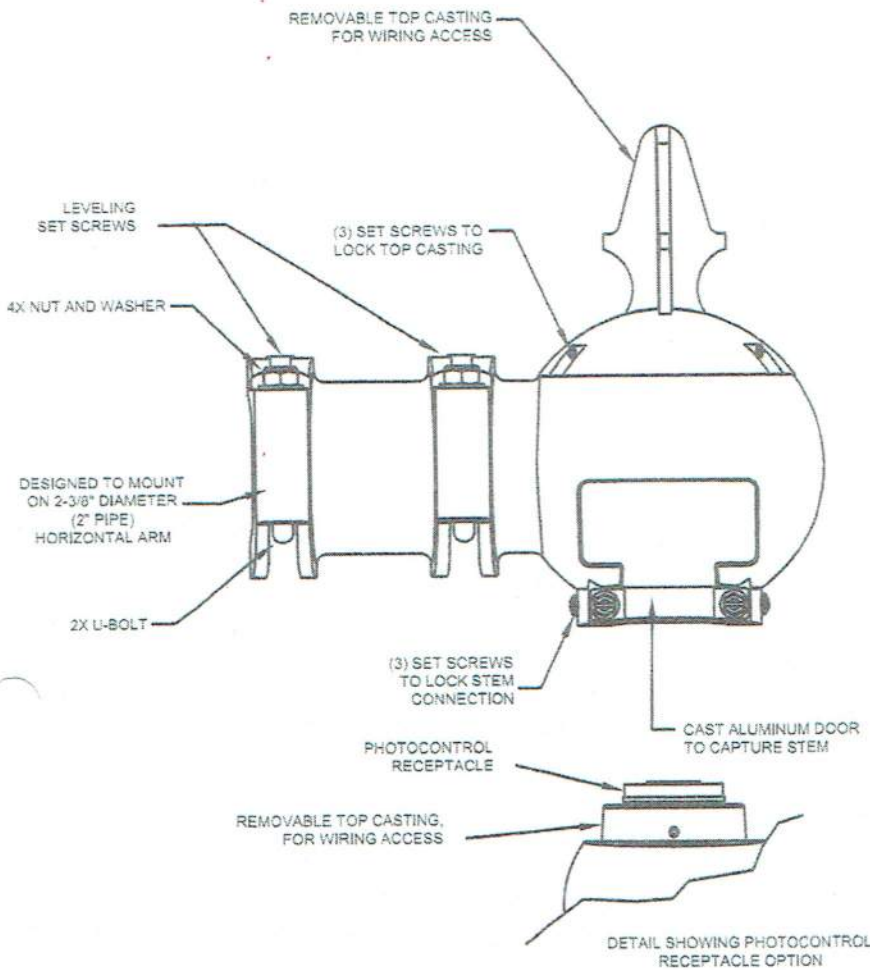
HOLOPHANE
LEADER IN LIGHTING SOLUTIONS
An Esplanade Company

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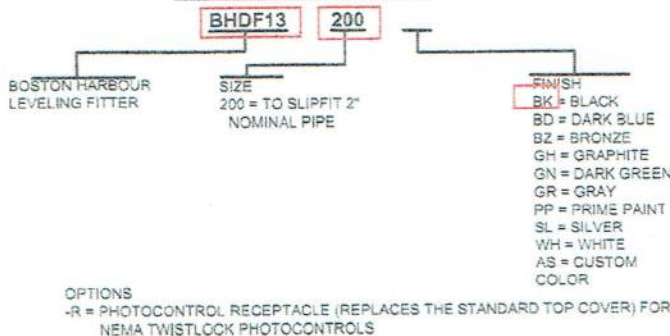
ORDER #:	
TYPE:	RAF
DRAWN:	2/4/2016
DATE:	LUM ESL2
DWG NO:	

Boston Harbour Style Decorative Arm Fitter

For Use with Quick Lock Stem mounting luminaires



ORDERING INFORMATION



Specifications

GENERAL DESCRIPTION

The Boston Harbour style decorative arm fitter is designed to replicate the look of period cast arm mounts.

MATERIAL

The fitter body, top cover, and door assembly shall be heavy wall cast aluminum. All mounting and locking hardware shall be stainless steel.

INSTALLATION

The fitter is designed to be used with luminaires having a welded pendant mount stem. The contoured door (with integral lanyard) is removed to allow the stem to engage inside the fitter. The door is replaced to capture the luminaire stem. The fitter is provided with (2) U-bolts, washers and nuts and (2) leveling set screws that lock the fitter to a nominal 2" horizontal arm and allow a +/- 5 degree adjustment from horizontal to the fitter. The swivel action on the stem allows for +/- 4 degree adjustment from vertical.

(3) set screws lock the threaded male connector in place. The cast top cover can be removed to allow access to the inside of the fitter to facilitate wire connections. (3) set screws lock the cover to the fitter.

FINISH

The fitter is finished with a polyester powder paint applied after a seven stage pretreatment process to insure maximum durability.

WARRANTY

Limited warranty located at www.acuitybrands.com/CustomerResources/TermsandConditions.aspx

NOTE

Specifications subject to change without notice.

714-09.10 Luminaire Fitter
Type 'B'

ARCHITECTURAL OUTDOOR ORDER #: **West Development, 'B' Fitter**

DRAWING NO: LUM_BHDF13

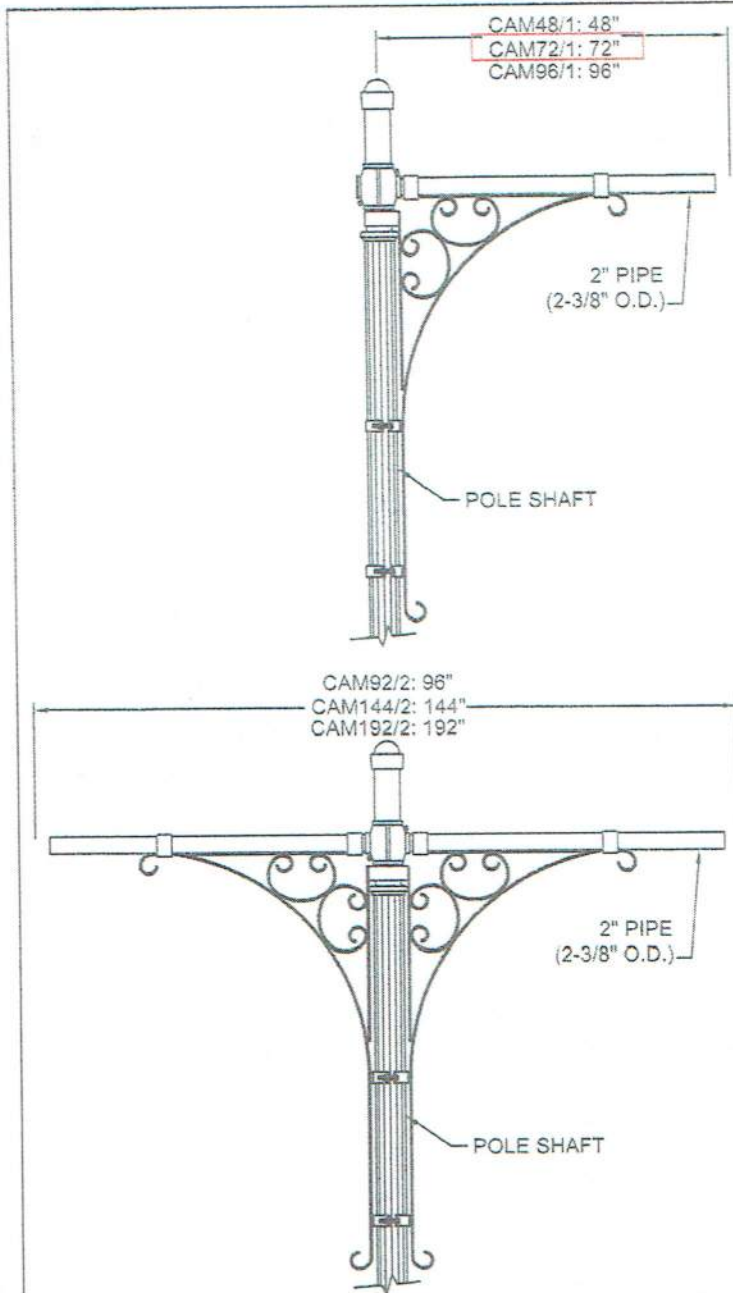
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SCALE: N/A
DRAWN: JCH
APP'D:
DATE: 4-1-13



Catalog #'s:

Series (Total Length/Luminaire NO.)

CAM48/1	-	CA/XX
CAM72/1	-	CA/XX
CAM96/1	-	CA/XX
CAM96/2	-	CA/XX
CAM144/2	-	CA/XX
CAM192/2	-	CA/XX

Specifications

DESCRIPTION

The Camden decorative crossarm(s) shall be all aluminum construction with plain straight horizontal arms, decorative scrolled arm supports, and will terminate in a 2" nominal pipe horizontal arm.

CROSSARM
Style: Camden

Width: 4', 6', 8'

Material: Heavy wall cast #356 aluminum alloy and schedule 40 aluminum pipe.

Luminaire Mounting: Intended for pendent mounted luminaires, using a mounting adaptor (not shown) to mount to a threaded top entry.

Slipfitter: Arm(s) slipfit a $\varnothing 3$ " by 4" tall tenon, and decorative scroll work clamps to arm and pole shaft.

Finish: The arm is finished with polyester powder paint applied after a seven stage pretreatment process to insure maximum durability.

714-14.02 Mast Arm
for type 'A' & 'B' poles

APPROVED JUL 18 2017

MDL

Finish Colors: (insert finish color in "XX" place)

BK = Black
DB = Dark Bronze
DG = Dark Green
PP = Prime Painted
CC = Custom Color


HOLOPHANE[®]
LEADER IN LIGHTING SOLUTIONS
An Acuity Brands Company

Camden Series Arm

Cast Aluminum Crossarm for Pendant Mounted Luminaires

ORDER #:	TYPE:	DRAWING #:
REVISION:	REVISION DATE: 05-05-06	US-2020
DRAWN: RAF	ORIGIN DATE:	PAGE: 1 of 1

THIS DRAWING, WHEN APPROVED, SHALL BECOME THE COMPLETE SPECIFICATION FOR THE MATERIAL TO BE FURNISHED BY HOLOPHANE ON THE ORDER NOTED ABOVE. A UNIT OF SIMILAR DESIGN MAY BE SUPPLIED, BUT ONLY AFTER APPROVAL BY THE CUSTOMER IN WRITING. ON POLE ORDERS AN ANCHOR BOLT TEMPLATE PRINT WILL BE SUPPLIED WITH EACH ANCHOR BOLT ORDER TO MATCH THE POLE PROVIDED. THIS PRINT IS THE PROPERTY OF HOLOPHANE AND IS LOANED SUBJECT TO RETURN UPON DEMAND AND UPON EXPRESS CONDITION THAT IT WILL NOT BE USED DIRECTLY OR INDIRECTLY IN ANY WAY DETRIMENTAL TO OUR INTERESTS, AND ONLY IN CONNECTION WITH MATERIAL FURNISHED BY HOLOPHANE.

Entrance Sign
 Sq. Ft: 186
 Quantity: As Noted

RESIDENTIAL ZONE

SpringBrook
FARM

Entrance Sign

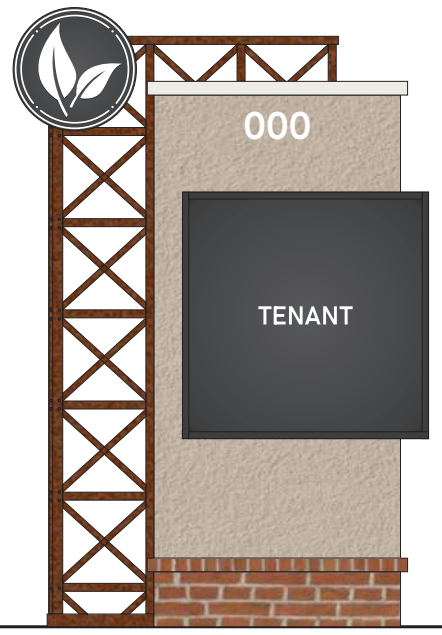


COMMERCIAL ZONE

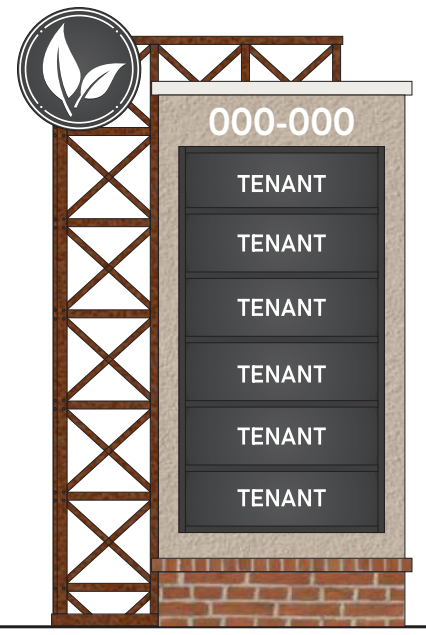
P1 - Pylon Sign



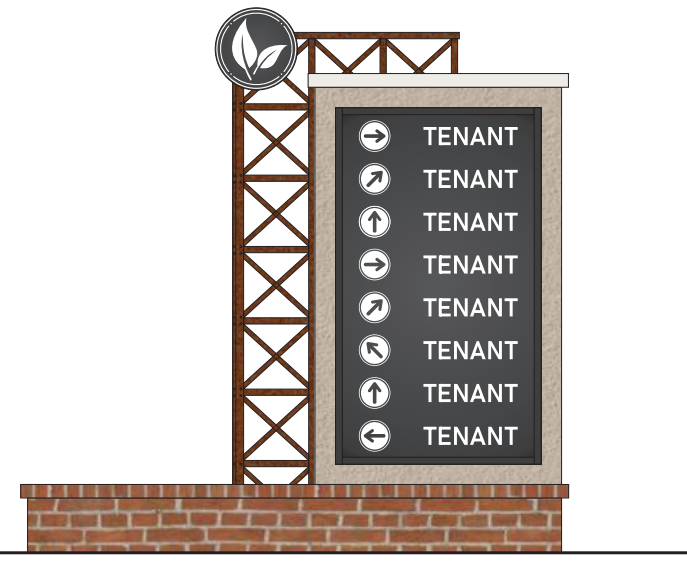
M1 - Monument



M6 - Monument



D1 - Directional Sign



11801 Anderson Road, Greenville, SC 29611
 Phone: (864)295-2287
 Fax: (864)269 7711
 www.masstarsigns.com

Job Number: _____
 Client: **Springbrook Farms**
 Address: **Alcoa, Tennessee**
 Salesperson: **Mark Browning**
 Designer: **Christina Pineda**
 Date Originated: **10-16-19**
 Manufacture By: _____
 Install By: _____
 Conceptual:
 Finalized:
 Drawing Scale: **As Noted**
 Vector Artwork: _____
 Revision 1: **12-06-19**
 Revision 2: **02-14-20**
 Revision 3: _____
 Revision 4: _____
 Revision 5: _____
 Revision 6: _____
 Revision 7: _____
 Customer Approved: _____
 Date: _____
 Landlord Approved: _____
 Date: _____



Entrance Sign

Sq. Ft: 186
 Quantity: As Noted



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SPECIFICATIONS

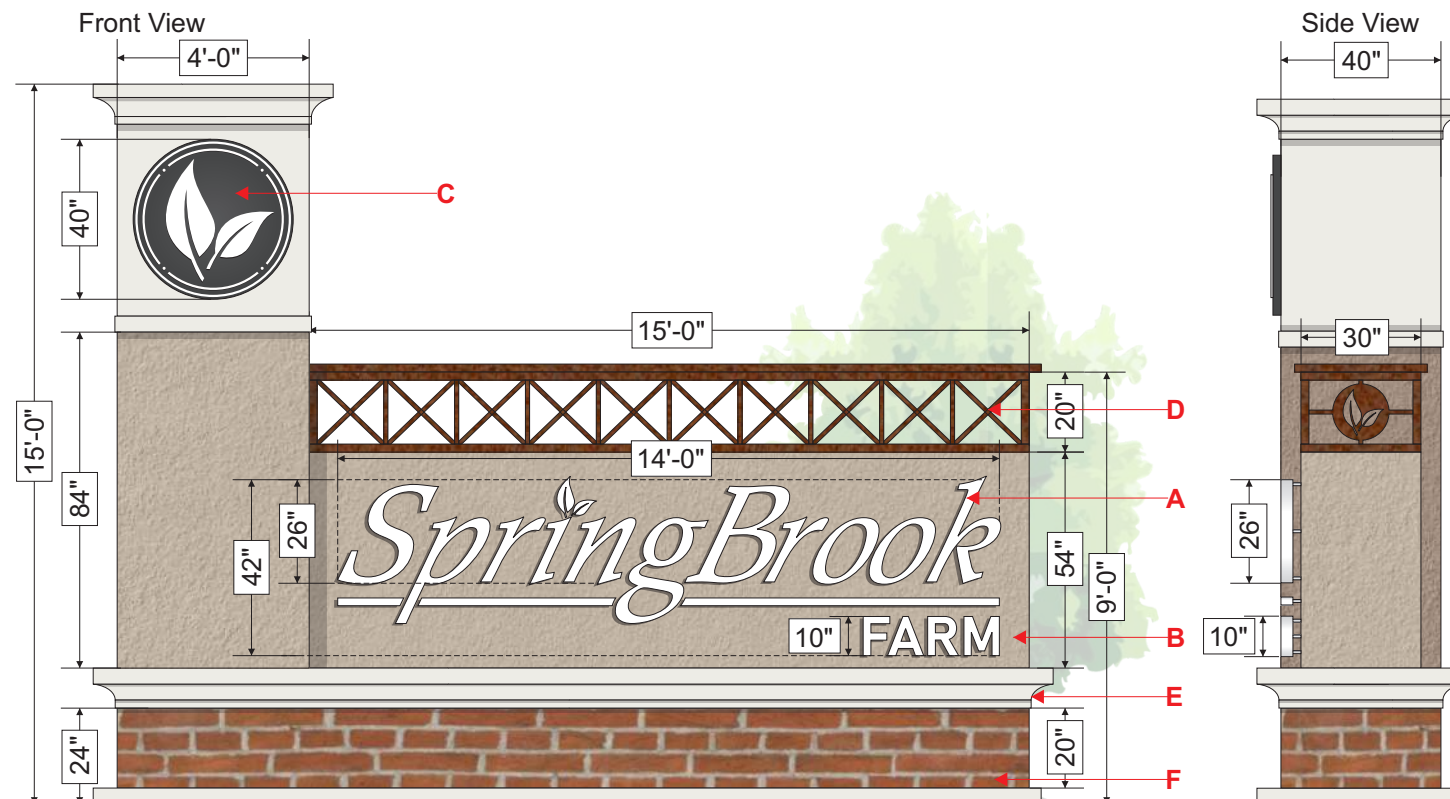
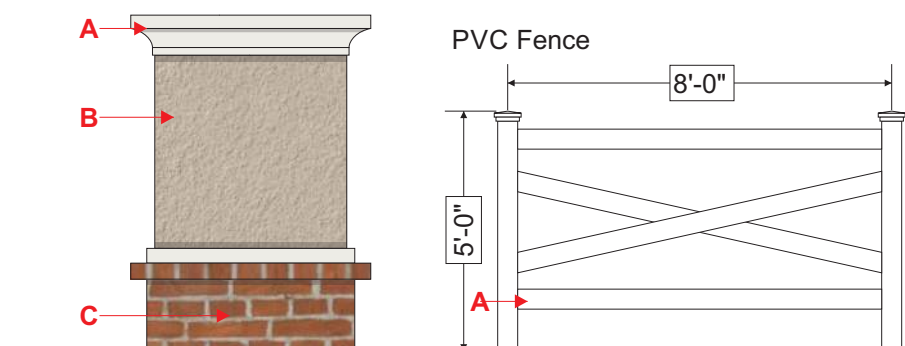
Qty6: Columns

- A Topper & Reveals:** aluminum custom build painted to match SW 7005 Pure white.
- B Cabinet:** aluminum cabinet with painted to match MP 6390 Camino stucco finish.
- C Brick Base:** aluminum cabinet with venner style brick on mesh with pin mounted 2' address numbers.

SPECIFICATIONS

Crossback Vinyl Fence (Qty4 sections of 3 panels each)

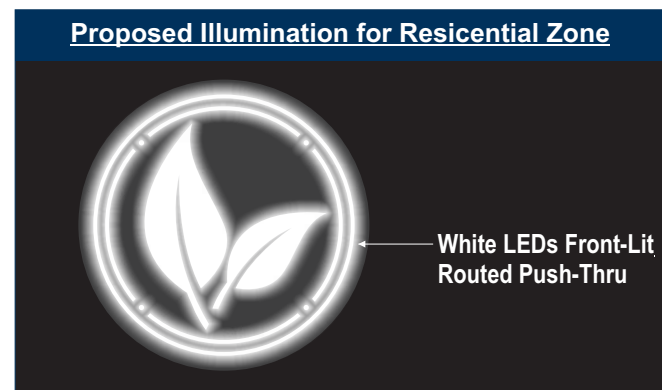
- A PVC Fence:** Heavy duty Crossback Polyvinyl fence, white color with vinyl post caps.



Scale: 1/4"=1' (11x17 Paper)

Spring Brook
FARM

	Paint SW 7005 Pure White
	Paint MP 6390 Camino
	Paint MP 10269 Dark Slate
	Paint Faux Rust Finished
	White Polycarbonate



SPECIFICATIONS

Qty 2: Single sided Halo-Lit Entrance Monument Sign

- A Lettering:** LED internally illuminated halo lit channel letters set, aluminum returns welded to aluminum faces with clear polycarbonate backs. Mounted with 2" spacers to cabinets.
- B Cabinet:** aluminum cabinet with painted to match MP 6390 Camino stucco finish.
- C Emblem Cabinet:** Aluminum cabinet painted to match SW 7005 Pure white with flush mounted emblem logo. Emblem to be LED white illuminated aluminum logo, 3" return with 1" routed push-thru lettering and 1st surface white vinyl graphics. (Day= White / Night= White)
- D Decorative Truss Topper:** Aluminum decorative truss painted with faux rust finish with flush mounted to aluminum cabinet.
- E Topper & Base:** aluminum custom build painted to match SW 7005 Pure white.
- F Brick Base:** aluminum cabinet with venner style brick on mesh.

Job Number: _____

Client: **Springbrook Farms**

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Date Originated: **10-16-19**

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Install By: _____

Conceptual:

Finalized:

Drawing Scale: **As Noted**

Vector Artwork: _____

Revision 1: **12-06-19**

Revision 2: **02-14-20**

Revision 3: _____

Revision 4: _____

Revision 5: _____

Revision 6: _____

Revision 7: _____

Customer Approved: _____

Date: _____

Landlord Approved: _____

Date: _____



Entrance Sign

Sq. Ft: 186

Quantity: As Noted

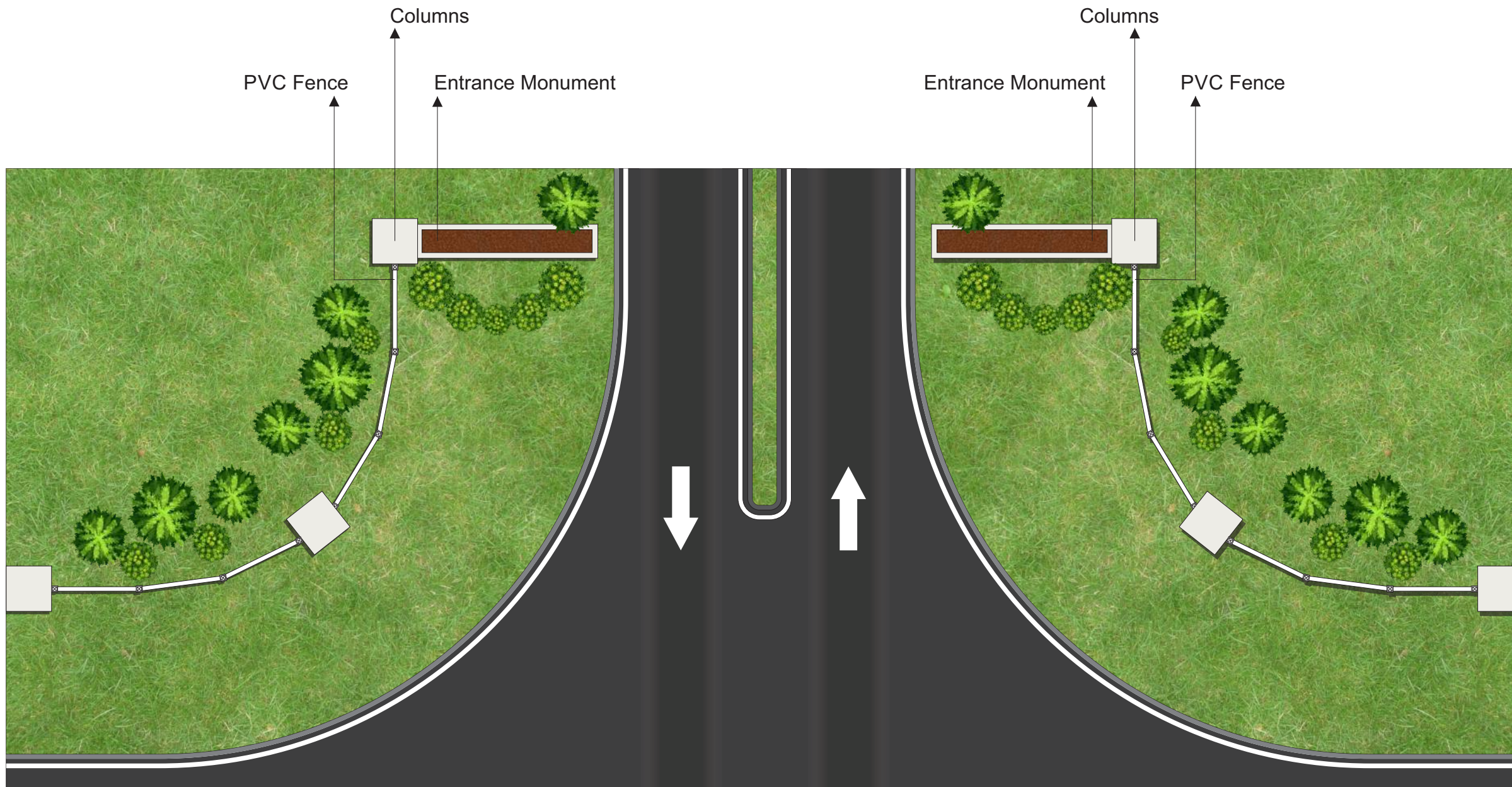


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Scale: 3/32"=1' (11x17 Paper)

Job Number: _____

Client: **Springbrook Farms**

Address: **Alcoa, Tennessee**

Salesperson: **Mark Browning**

Designer: **Christina Pineda**

Date Originated: **10-16-19**

Manufacture By: _____

Install By: _____

Conceptual:

Finalized:

Drawing Scale: **As Noted**

Vector Artwork: _____

Revision 1: **12-06-19**

Revision 2: **02-14-20**

Revision 3: _____

Revision 4: _____

Revision 5: _____

Revision 6: _____

Revision 7: _____

Customer Approved: _____

Date: _____

Landlord Approved: _____

Date: _____



P-2: Pylon Sign

Sq. Ft: **390**



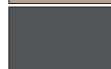

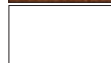
Quantity: **3**

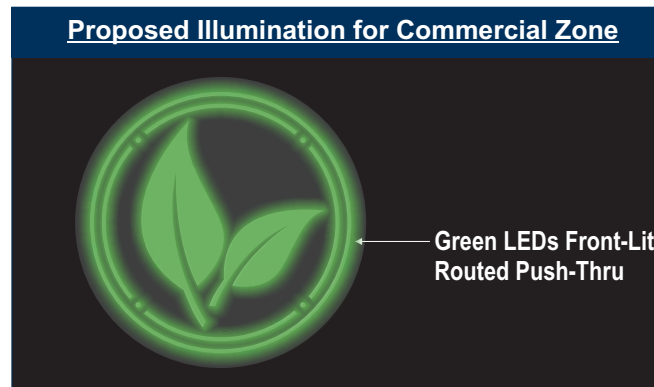
Spring Brook FARM

SPECIFICATIONS

Double sided Front-illuminated Pylon

- A ID Cabinet:** Aluminum decorative truss painted with faux rust finish with flush mounted (qty 1) aluminum pan 1" returns, painted MP 10269 Dark Slate and 1/4" routed push-thru lettering white.
- B Tenant Cabinet:** 1" Routed push-thru aluminum panels, 2" retainers and 2" returns, painted to match MP 10269 Dark Slate.
- C Emblem Cabinet:** aluminum cabinet painted to match MP 6390 Camino stucco finish. Emblem to be LED green illuminated at night aluminum logo, 3" return with 1" routed clear push-thru lettering and 1st white vinyl graphics. (Day= White / Night= Green)
- D Brick Base:** aluminum cabinet with venner style brick on mesh
- E Topper & Base:** aluminum custom build painted to match SW 7005 Pure white.

	Paint SW 7005 Pure White
	Paint MP 6390 Camino
	Paint MP 10269 Dark Slate
	Paint Faux Rust Finished
	White Polycarbonate



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Salesperson: **Mark Browning**

Designer: **Christina Pineda**

Date Originated: **10-16-19**

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Conceptual:

Finalized:

Drawing Scale: **As Noted**

Vector Artwork: _____

Revision 1: **12-06-19**

Revision 2: **02-14-20**

Revision 3: _____

Revision 4: _____

Revision 5: _____

Revision 6: _____

Revision 7: _____

Customer Approved: _____

Date: _____

Landlord Approved: _____

Date: _____



M-1: Monument Sign

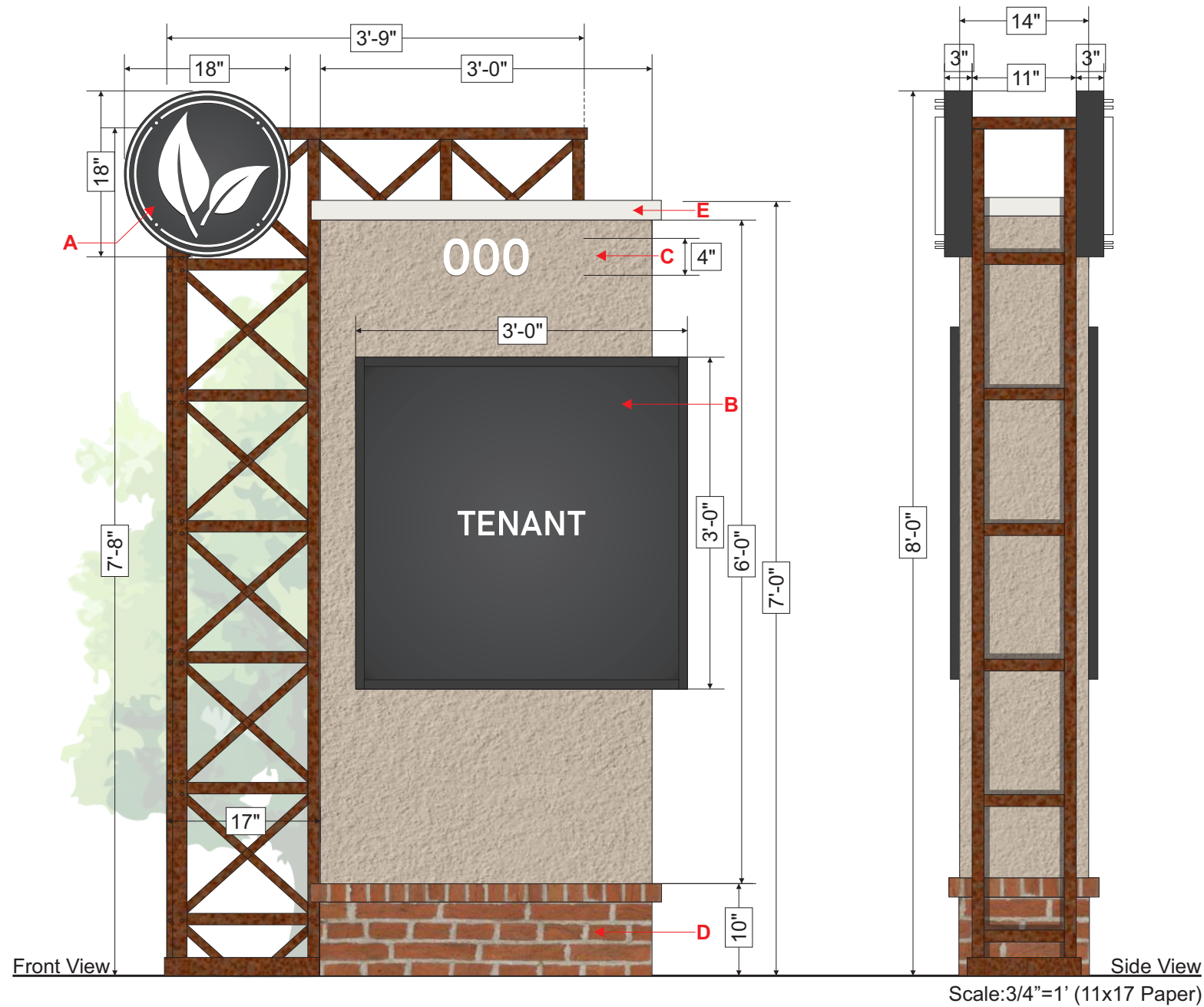
Sq. Ft:	20.56
Quantity:	1

Spring Brook FARM

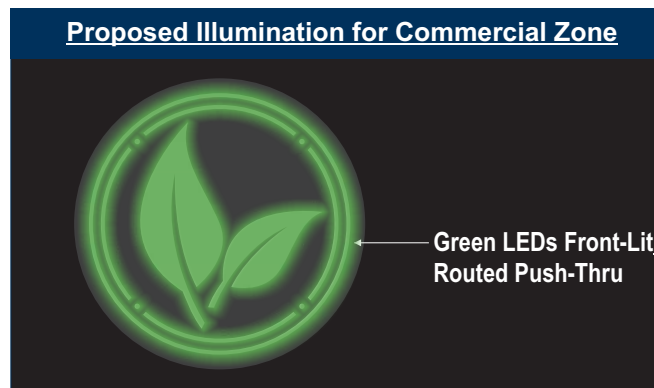
SPECIFICATIONS

Double sided Front-illuminated Monument

- A ID Cabinet:** Aluminum decorative truss painted with faux rust finish with flush mounted emblem logo. Emblem to be LED green illuminated at night aluminum logo, 3" return with 1" routed clear push-thru lettering and 1st surface white vinyl graphics. (Day= White / Night= Green)
- B Directional Panels:** (qty 2) aluminum panels, 1" retainers and 1" returns, painted to match MP 10269 Dark Slate and 1st surface vinyl graphics.
- C Cabinet:** painted to match MP 6390 Camino stucco finish.
- D Brick Base:** aluminum cabinet with venner style brick on mesh
- E Topper:** aluminum custom build painted to match SW 7005 Pure white.



	Paint SW 7005 Pure White
	Paint MP 6390 Camino
	Paint MP 10269 Dark Slate
	Paint Faux Rust Finished
	White Polycarbonate



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Salesperson: **Mark Browning**
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 Date Originated: **10-16-19**
 Manufacture By: _____
 Install By: _____

Conceptual: ●
 Finalized: ○

Drawing Scale: **As Noted**

Vector Artwork: _____

Revision 1: **12-06-19**

Revision 2: **02-14-20**

Revision 3: _____

Revision 4: _____

Revision 5: _____

Revision 6: _____

Revision 7: _____

Customer Approved: _____

Date: _____

Landlord Approved: _____

Date: _____



M-1: Monument Sign

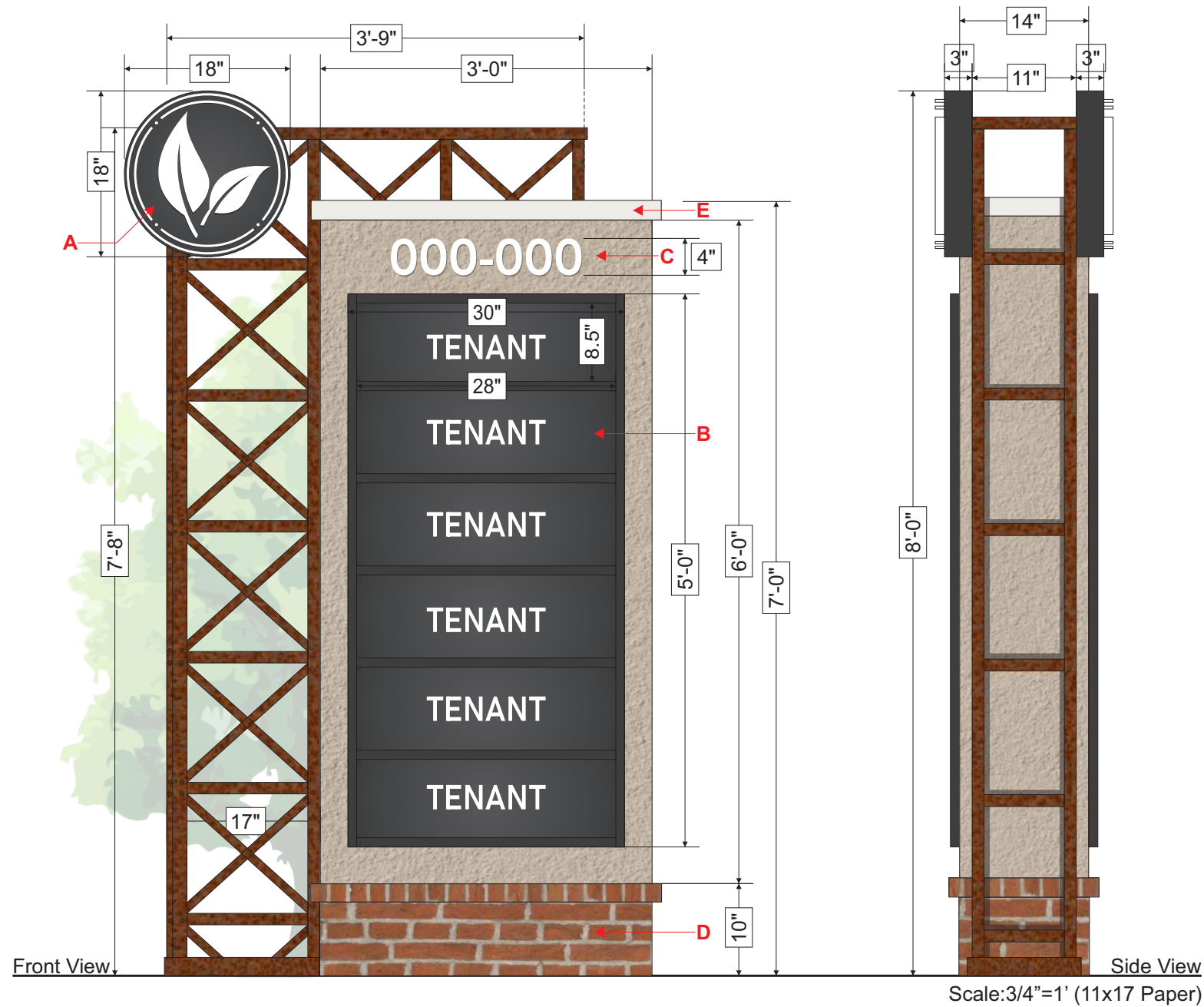
Sq. Ft:	20.56
Quantity:	1

Spring Brook FARM

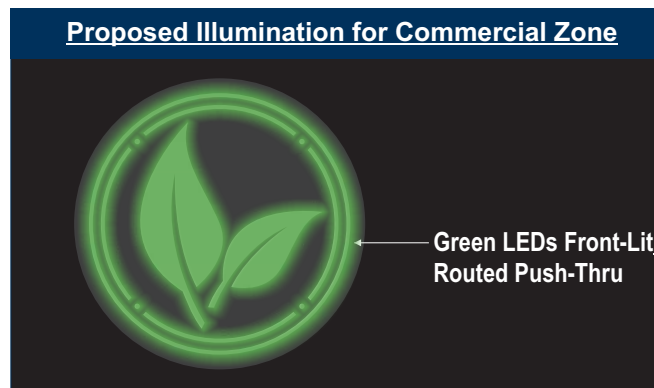
SPECIFICATIONS

Double sided Front-illuminated Monument

- A ID Cabinet:** Aluminum decorative truss painted with faux rust finish with flush mounted emblem logo. Emblem to be LED green illuminated at night aluminum logo, 3" return with 1" routed clear push-thru lettering and 1st surface white vinyl graphics. (Day= White / Night= Green)
- B Directional Panels:** (qty 2) aluminum panels, 1" retainers and 1" returns, painted to match MP 10269 Dark Slate and 1st surface vinyl graphics.
- C Cabinet:** painted to match MP 6390 Camino stucco finish.
- D Brick Base:** aluminum cabinet with venner style brick on mesh
- E Topper:** aluminum custom build painted to match SW 7005 Pure white.



	Paint SW 7005 Pure White
	Paint MP 6390 Camino
	Paint MP 10269 Dark Slate
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Conceptual:
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 Revision 6: _____
 Revision 7: _____

Customer Approved: _____

Date: _____

Landlord Approved: _____

Date: _____



D-1: Directional Sign

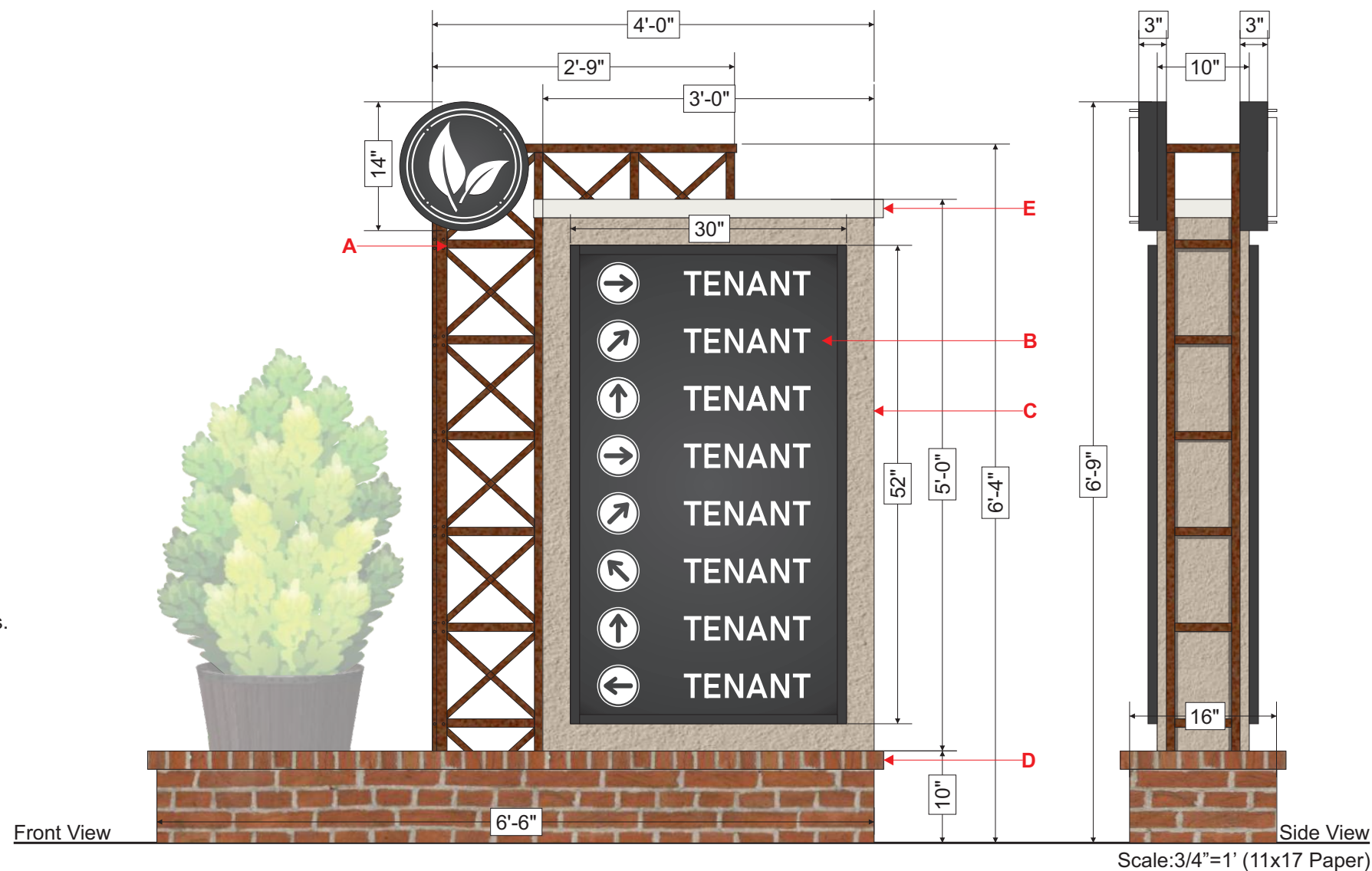
Sq. Ft:	25
Quantity:	1

Spring Brook FARM

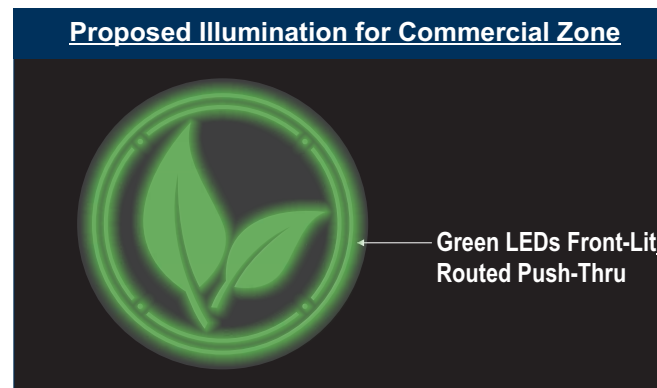
SPECIFICATIONS

Double sided Front-illuminated Monument

- A ID Cabinet:** Aluminum decorative truss painted with faux rust finish with flush mounted emblem logo. Emblem to be LED green illuminated at night aluminum logo, 3" return with 1" routed clear push-thru lettering and 1st surface white vinyl graphics. (Day= White / Night= Green)
- B Directional Panels:** (qty 2) aluminum panels, 1" retainers and 1" returns, painted to match MP 10269 Dark Slate and 1st surface vinyl graphics.
- C Cabinet:** painted to match MP 6390 Camino stucco finish.
- D Brick Base:** aluminum cabinet with venner style brick on mesh
- E Topper:** aluminum custom build painted to match SW 7005 Pure white.



	Paint SW 7005 Pure White
	Paint MP 6390 Camino
	Paint MP 10269 Dark Slate
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	White Polycarbonate



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Job Number:

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Date Originated: **10-16-19**

Manufacture By:

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Vector Artwork:

Revision 1: **12-06-19**

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Customer Approved:

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